



Planning & Engineering
31 Shelby Road
PO Box 6256
Sherwood, AR 72124-6256
Phone: (501) 835-4753
Fax: (501) 392-0088

February 3rd, 2026

Re: February Planning Commission Meeting

To Whom It May Concern,

On February 10th, 2026, at 6:00 PM the Sherwood Planning Commission will hold a public, live-streamed meeting to hear the following agenda items:

1. Rezone at 8709 Teetwood Road from R-1 to R-2. George Murillo, Owner. [Public Hearing]
2. Replat of Lots 21 and 22, Sylvan Hills Addition. George Murillo, Owner.
3. Discussion: Residential Zoning Districts

If you are unable to attend the meeting and would like to comment on an item, please send your comment via email with your name and address to planning@sherwoodar.gov before Monday, February 9th, 2026, at 4:30 PM. Please note that these comments will be read aloud in the public meeting and should be clear and concise regarding the item. To watch the live-streamed meeting, please go to <https://www.cityofsherwood.net/watchnow>.

Regards,

Corey Drake
Planning Commission Secretary

Sherwood Planning Commission Agenda

February 10th, 2026 – 6:00 PM
2201 E. Kiehl Avenue, Sherwood, AR 72120
Blake Martin, Chairman

Agenda Items

1. Call to Order
2. Roll Call
3. Approval of January 13th, 2026, Meeting Minutes
4. Approval of the Agenda
5. Rezone at 8709 Teetwood Road from R-1 to R-2. George Murillo, Owner. [Public Hearing]
6. Replat of Lots 21 and 22, Sylvan Hills Addition. George Murillo, Owner.
7. Discussion: Residential Zoning Districts
8. Old Business
 - Preliminary Plat of Camilla Acres. Bond Engineering, Agent.
 - Site Plan for Camilla Acres. Bond Engineering, Agent.
 - Site Plan for 1800 East Kiehl Avenue. Thomas Engineering, Agent.
9. New Business
10. Adjournment

Sherwood Planning Commission Minutes

January 13th, 2026 – 6:00 PM
2201 E. Kiehl Avenue, Sherwood, AR 72120
Blake Martin, Chairman

Agenda Items

1. Call to Order
2. Roll Call
 - Hoskyn
 - Evans-Delrie
 - Patel
 - Clough (absent)
 - Martin
 - Williams (absent)
 - Dozier
3. Approval of December 9th, 2025, Meeting Minutes
 - Hoskyn made a motion to approve the meeting minutes.
 - Patel seconded the motion.
 - Hoskyn, Evans-Delrie, Patel, and Martin voted to approve the minutes. Dozier abstained.
 - Minutes pass 4-0-1.
4. Approval of the Agenda
 - Shelby Notias, City Planner, requested that the items under old business be tabled.
 - Hoskyn made a motion to table the items under old business.
 - Evans-Delrie seconded the motion.
 - Unanimous roll call to table the items listed under old business.
5. Election of Chairman
 - Hoskyn nominated Blake Martin for Chairman.
 - Patel seconded the nomination.
 - Hoskyn, Evans-Delrie, Patel, and Dozier voted in favor. Martin abstained.
 - Blake Martin was elected Chairman in a 4-0-1 vote.
6. Election of Vice-Chair
 - Patel nominated Charles Hoskyn for Vice-Chair.
 - Evans-Delrie seconded the motion.
 - Evans-Delrie, Patel, Martin, and Dozier voted in favor. Hoskyn abstained.
 - Charles Hoskyn was elected Vice-Chair in a 4-0-1 vote.
7. Site Plan for Lots 1R and 11R, Carroll Heights Subdivision. Thomas Engineering, Agent,

- Ms. Notias stated that staff recommend the item be tabled to allow staff time to review revisions that were submitted the day before the meeting.
- Thomas Pownall, Thomas Engineering, spoke to the item. He stated that they feel they addressed the outstanding items in the submitted revisions and that he would like the Commission to consider approval contingent upon completing all outstanding items including the architectural elevations and addressing the dimensions of the southeast corner of the parking lot.
- Chairman asked if the property would remain as two separate lots.
- Mr. Pownall clarified that it would remain two lots with coordinated access easements and sidewalk easements.
- Chairman stated that one of the contingencies would need to be based on approval of the variance on the Board of Zoning Adjustment agenda.
- Hoskyn made a motion to table the item.
- Dozier seconded the motion.
- Unanimous roll call to table the item to the February meeting.

8. Discussion: T. Rick's Service Station

- Ms. Notias detailed the previous conditional use permit application brought before the Commission for this property and that the owner would like to speak with the Commission regarding bringing forth a new application.
- Hoskyn asked if there was an active application on file for the property.
- Ms. Notias clarified that there was no active application. She stated that the owner is eligible to apply for a conditional use permit as the 12-month period had lapsed from the previous denial.
- Chairman clarified that this item would not require an action and was strictly for discussion purposes.
- Hoskyn asked if the Commission was in the business of issuing advisory opinions.
- Chairman stated that this has not occurred during his time on the Commission.
- Steve Cobb, City Attorney, stated that it has been policy that the owner must make formal application and go through the process. He stated concern with allowing a discussion to happen prior to formal application and review by the Commission as it could create confusion and issue with the final decision.
- Hoskyn asked how the item was placed on the agenda.
- Ms. Notias stated that a meeting with the current property owner it was recommended that they discuss the reasons for denial at the meeting to see if those are able to be addressed at all with a new application. She stated that the owner had provided an updated plan that addressed some concerns, but not all. She stated that while staff discuss items internally, the opinion of the Commission is sometimes requested.
- Dozier stated that without an application, a conversation couldn't occur.
- Ms. Notias clarified that while this isn't standard practice the rationale behind the discussion was due to the unique concerns with the site and any conditional use permit presented.
- Patel asked for clarification on the process.
- Chairman and Ms. Notias clarified a new application would follow the set process for an item being brought before the Commission.

- Chairman stated that the path forward from this point would be for the owner to submit a formal application.

9. Old Business

- Final Plat of Camilla Acres. Bond Engineering, Agent. **(tabled with setting of agenda)**
- Site Plan for Camilla Acres. Bond Engineering, Agent. **(tabled with setting of agenda)**

10. New Business

- 2025 Planning Commission Report
 - Ms. Notias detailed the type and number of items brought before the Planning Commission in 2025.

11. Adjournment

- Dozier made a motion to adjourn.
- Hoskyn seconded the motion.
- Unanimous roll call to adjourn.

PASSED AND ADOPTED THIS _____ DAY OF _____, 20_____.

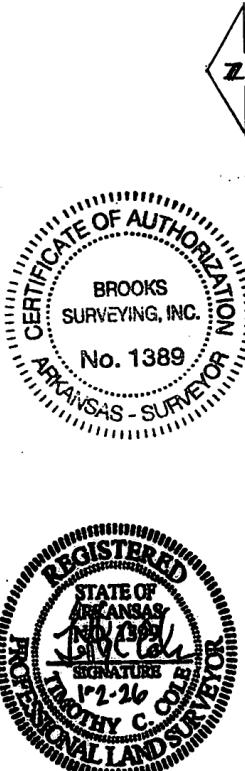
PLANNING COMMISSION CHAIRMAN

PLANNING COMMISSION SECRETARY

N

BROOKS SURVEYING, INC.
20820 Arch Street Pike
Hensley, AR 72065

501-888-5336/brookssurveying@att.net



SITE PLAN (CONCEPT)

For Site Plan / Rezoning Support

Project: Duplex (Proposed)

Address: 8709 Teetwood Rd
Sherwood, AR 72120

Existing Zoning: R-1

Requested Zoning: R-2

Intended Use: Duplex (2 dwelling units)

Key Data (from survey):

- Graphic scale: 1" = 20' (survey)
- Parcel: East 178.2' of Lot 22, Block 21 (Sylvan Hills Addition)
- Teetwood Rd frontage shown at top of survey
- Floodplain note: not in 100-yr floodplain (FIRM 0502350355G)
- Contours shown (approx. 298–302)
- Proposed duplex & driveway sketched on survey

Site Features (concept callouts):

- Ingress/egress: driveway to Teetwood Rd (verify width/material)
- Off-street parking: (concept) 4 spaces total (2 per unit)
- Pedestrian path: porch/walk shown conceptually
- Perimeter treatment: (concept) maintain yard; optional fence/planting
- Utilities: (to be confirmed) typical water/sewer/electric from ROW

Important note:

Items requiring engineering (drainage profiles/calcs, stamp) are listed on Page 2 for coordination with a licensed engineer.

Date of Survey: January 2, 2026
Scale: 1" = 20'
Property Address: 8709 Teetwood Road
For Use & Benefit of: George Murillo

0'.  40'
Graphic Scale (1' = 20') This is to certify that the above described land has been surveyed. The corners are marked as shown and are in accordance with existing monuments in the area. Survey makes no statement concerning flood status of property unless otherwise stated. THIS SURVEY IS CERTIFIED TO AND LIMITED TO THE PARTIES SHOWN HERON.

Prepared as a conceptual/site-layout exhibit; verify requirements with City of Sherwood Planning & Engineering unless otherwise stated. THIS SURVEY IS FOR INFORMATIONAL PURPOSES ONLY.

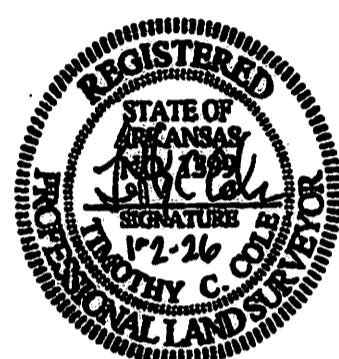
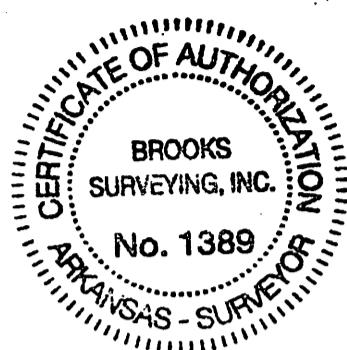
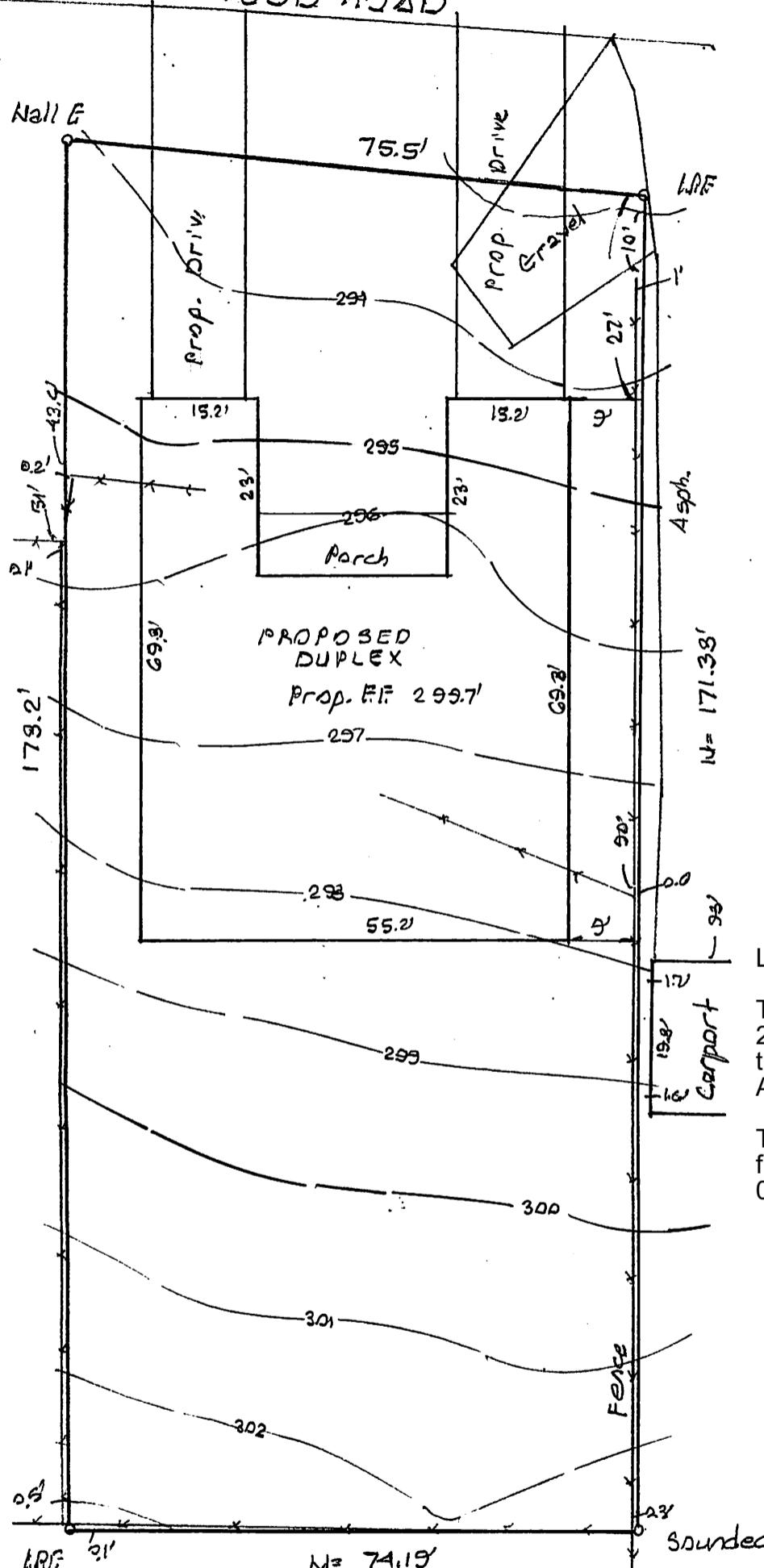
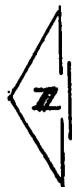
BROOKS SURVEYING, INC.

20820 Arch Street Pike

Hensley, AR 72065

501-888-5336/brookssurveying@att.net

TEETWOOD ROAD



LEGAL DESCRIPTION

The East 178.2 feet of Lot 22, Block 21, SYLVAN HILLS ADDITION to the City of Sherwood, Pulaski County, Arkansas.

This property is not in the 100 year flood plain as per FIRM No. 0502350355G, dated 7/6/2015.

Date of Survey:

January 2, 2026

Scale:

1" = 20'

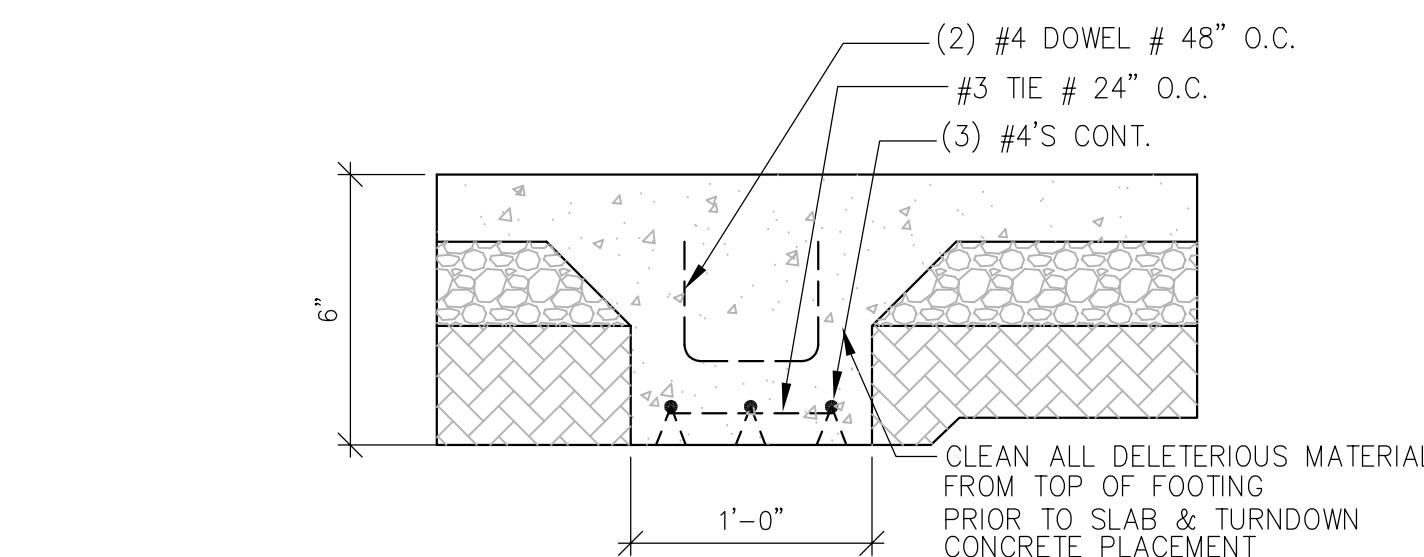
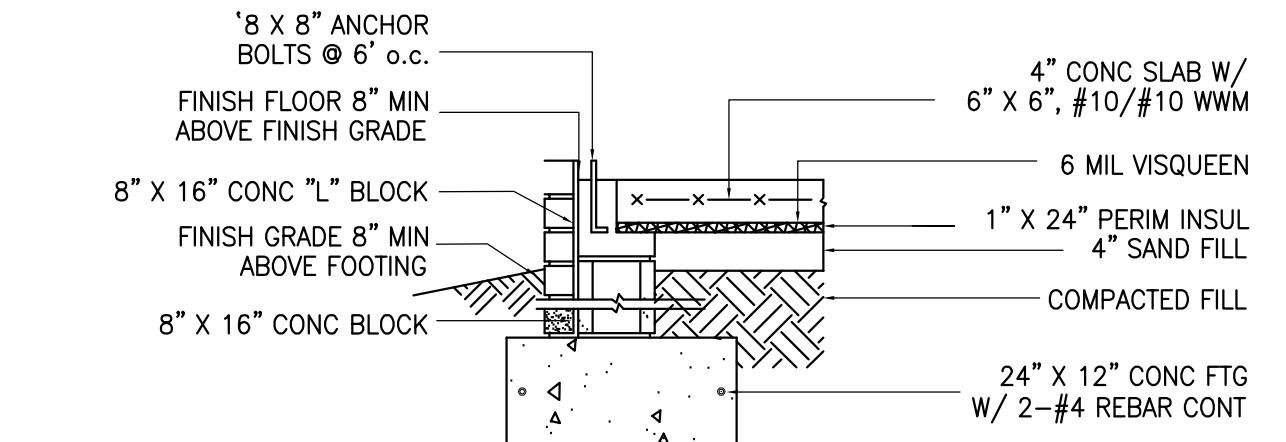
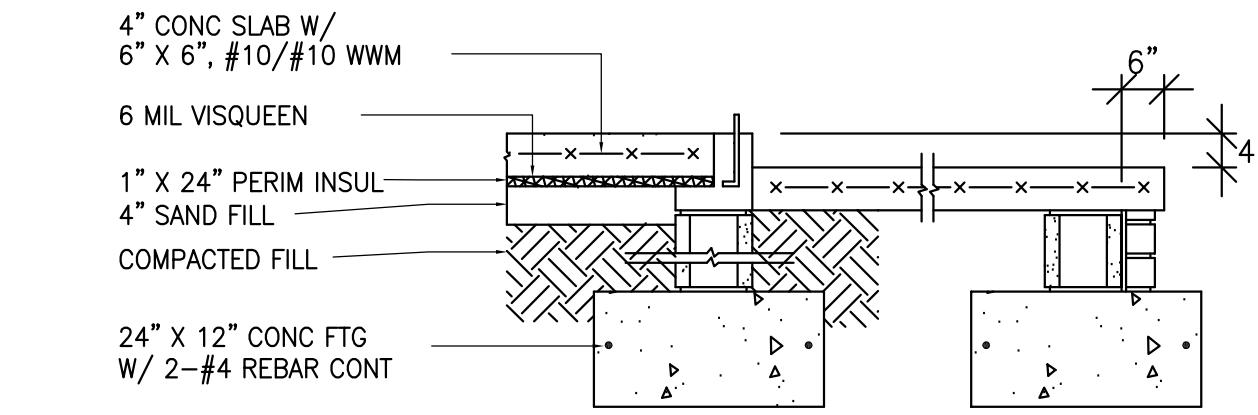
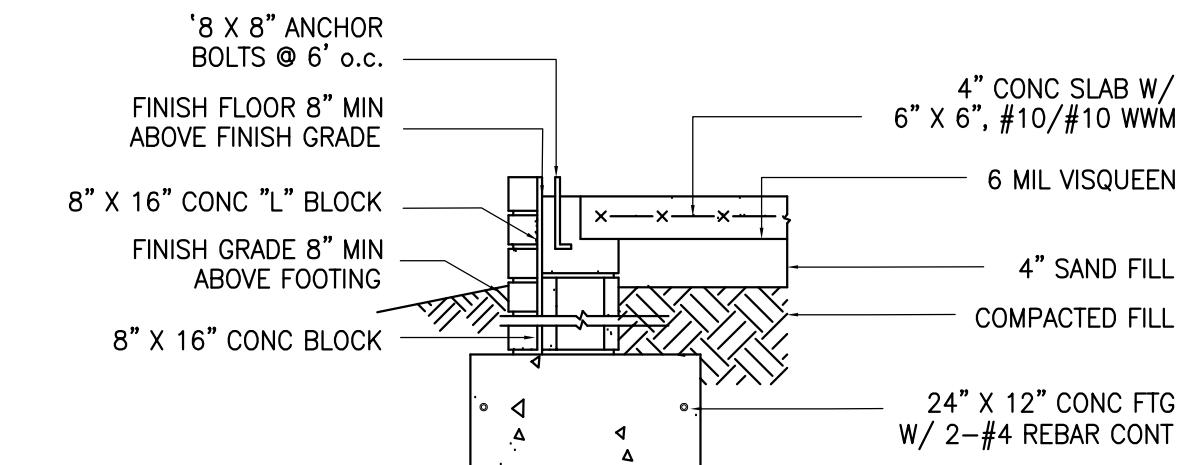
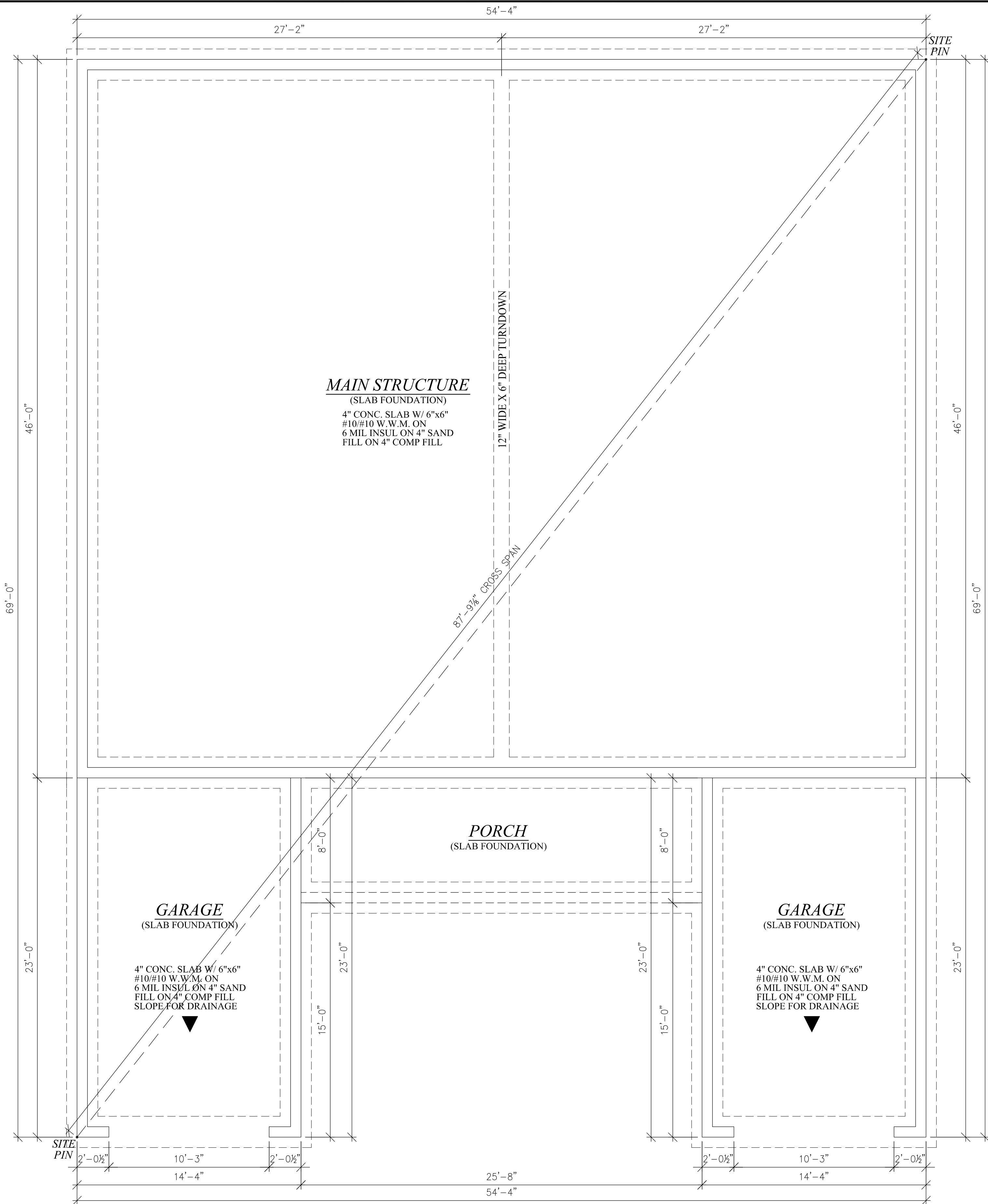
Property Address:

8709 Teetwood Road

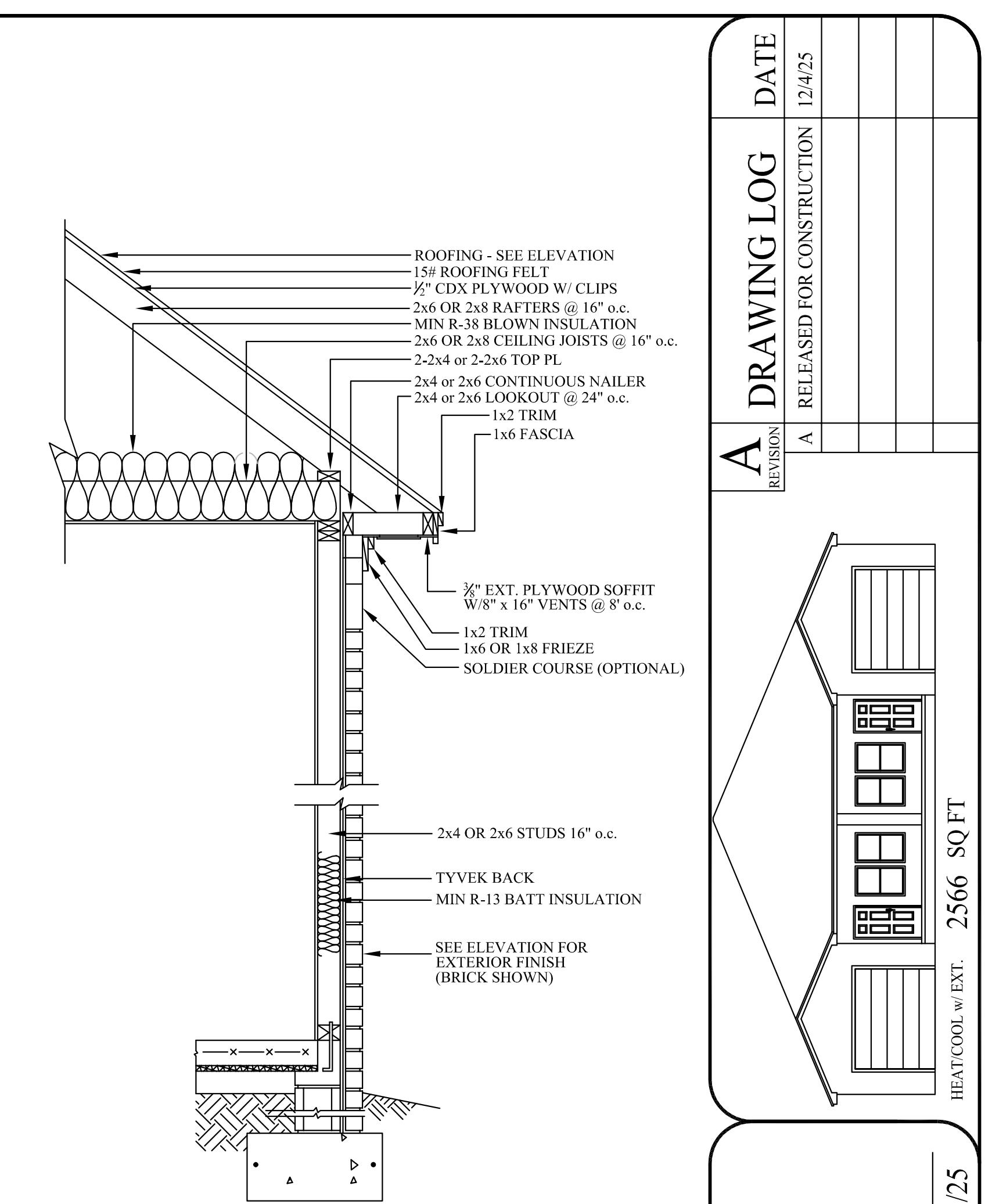
For Use & Benefit of:

George Murillo

This is to certify that the above described land has been surveyed. The corners are marked as shown and are in accordance with existing monuments in the area. Survey makes no statement concerning flood status of property unless otherwise stated. THIS SURVEY IS CERTIFIED TO AND LIMITED TO THE PARTIES SHOWN HEREON.



NOTE:
FOUNDATION PLAN FOR DUPLEX
CONSTRUCTION SHOWS INTERIOR
TURN-DOWNS FOR ADDITIONAL
LONG-TERM SUPPORT OF STRUCTURE.
TURN-DOWNS ARE SHOWN ONLY AS
A SUGGESTION AND ARE TO ONLY BE
USED AT THE AGREEMENT OF OWNER
AND GENERAL CONTRACTOR



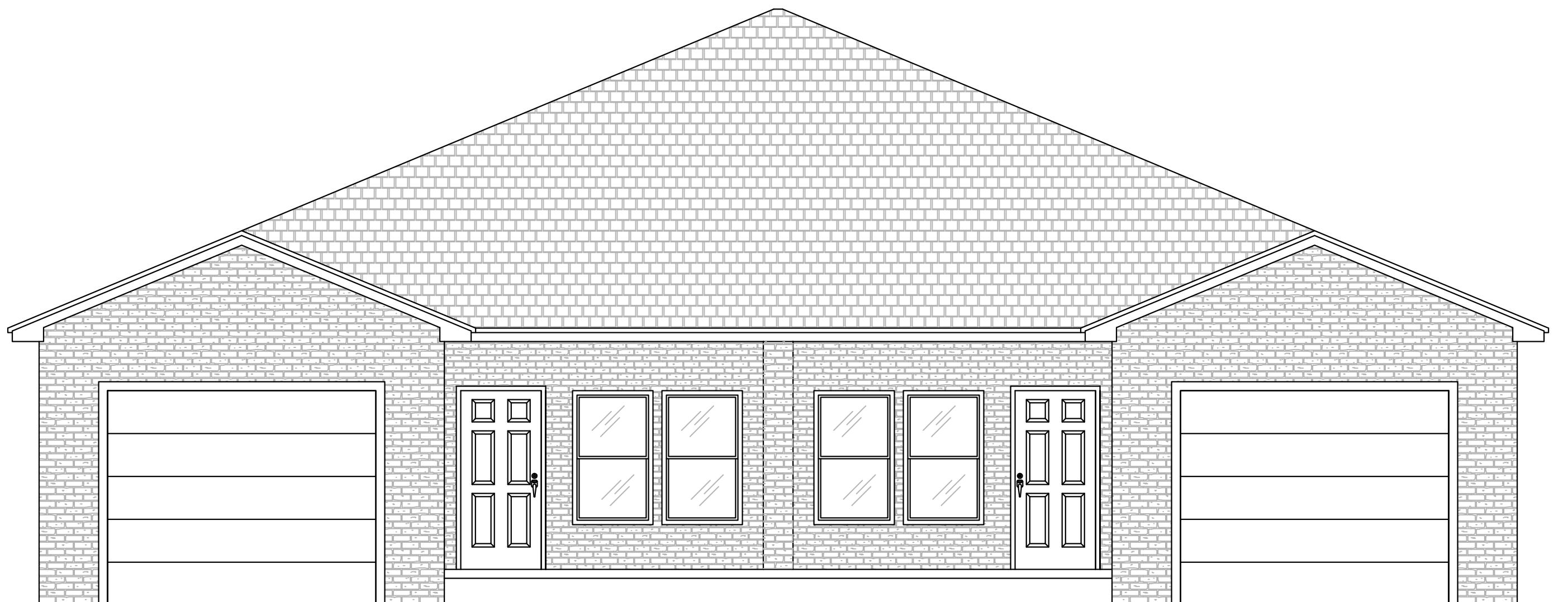
NOTE:

WHEN APPLICABLE, THE BUILDER AND/OR OWNER SHALL BE
RESPONSIBLE FOR CONSULTING WITH A LICENSED
PROFESSIONAL REGARDING THE FOUNDATION, SUPER
STRUCTURE AND SITE DRAINAGE. MY PLANSTORE IS A
DESIGN FIRM AND NOT AN ENGINEERING FIRM.
CONSEQUENTLY WE ARE NOT QUALIFIED NOR LICENSED TO
DESIGN STRUCTURAL FRAMING OR FOUNDATIONS. MY
PLANSTORE WILL NOT BE HELD RESPONSIBLE FOR THE
STRUCTURAL DESIGN IN ANY WAY OR WITH ANY PROBLEM
ASSOCIATED WITH THE ENGINEERING ASPECTS OF THE
BUILDING STRUCTURE.

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Drafting & Design LLC
(501) 208-1407
brian@myplanstore.com
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Builder is to verify all dimensions. If in doubt, call "MY PLAN STORE".

SHEET LEGEND
SHEET 1: FLOORPLAN/FRONT ELEVATION
SHEET 2: ELEVATIONS/ROOF
SHEET 3: FOUNDATION/DETAILS
JOB # M25-330
3 of 3

GEORGE MURILLO
DUPLEX



FRONT ELEVATION

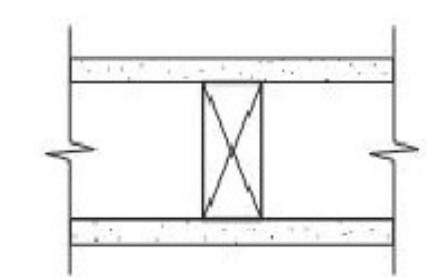
SCALE: 1/4" = 1'-0"

GYPSUM WALLBOARD, WOOD STUDS

Fire Design:

One layer 5/8" type X plain or predecorated gypsum wallboard applied parallel to each side of 2 x 4 wood studs 24" o.c. with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. at joints and top and bottom plates and 3/8" beads of adhesive at intermediate studs.

Joints staggered 24" on opposite sides. (**LOAD-BEARING**)



Thickness: 4-7/8" (Fire)

Approx. Weight: 7 psf (Fire)

Fire Test: FM WP 90, 08-21-67

FIRE PARTITION DETAIL

SCALE: NONE

NOTE:

THESE DRAWINGS PROVIDED AS A SCHEMATICAL REFERENCE ONLY. BUILDER TO VERIFY SIZE & LOCATION OF ALL STRUCTURAL LOAD COMPONENTS

THESE DRAWINGS HAVE BEEN PREPARED WITHOUT KNOWLEDGE OR REFERENCE TO A SPECIFIC GEOGRAPHICAL LOCATION. THEREFORE THE OWNER AND GENERAL CONTRACTOR TAKE RESPONSIBILITY FOR SITE PREPARATION. ALL SOIL TESTING, IF APPLICABLE, IS RESPONSIBILITY OF OWNER.

CONTRACTOR AND/OR OWNER SHALL VERIFY ALL DIMENSIONS, DETAILS AND DRAWING COMPONENTS. EVERY ATTEMPT TO CREATE THESE DRAWINGS MISTAKE FREE HAS BEEN MADE. MY PLANSTORE WILL NOT BE LIABLE FOR ERRORS AFTER CONSTRUCTION HAS BEGUN OR AFTER 90 DAYS FROM DATE OF RELEASE, WHICHEVER COMES FIRST.

DRAWING GLOSSARY

DRAWING ABBREVIATIONS:

C.O. = CASED OPENING

PKT = POCKET DOOR

B.D. = BARN DOOR

B-I = BUILT IN CABINETS

D/W = DISHWASHER

DOOR/WINDOW SIZES:

3068 = 3'-0" WIDE X 6'-8" TALL

2468 = 2'-4" WIDE X 6'-8" TALL

2030 = 2'-0" WIDE X 3'-0" TALL

3050 = 3'-0" WIDE X 5'-0" TALL

PLAN APPROVAL SIGN-OFF

DO NOT BUILD UNLESS 2 OF 3 BOXES HAVE BEEN SIGNED OFF

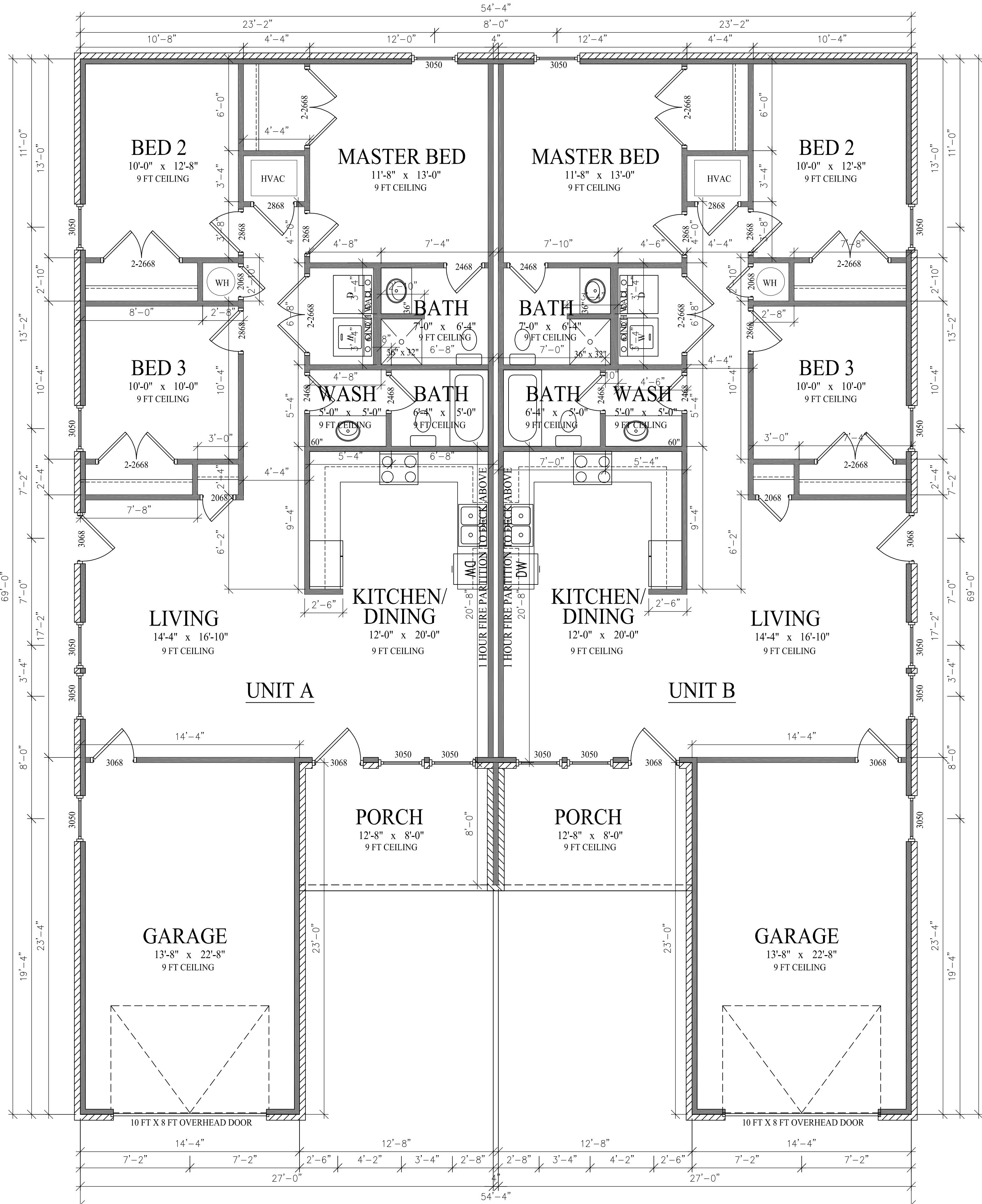
DESIGNER: _____

BUILDER: _____

CUSTOMER: _____

NOTE:

ALL TUBS, SHOWERS AND APPLIANCES SHOWN ARE REPRESENTATIVE AND SHOULD BE FIELD VERIFIED BY CONTRACTOR FOR FIT BEFORE FRAMING (IF APPLICABLE).



FLOOR PLAN

SCALE: 1/4" = 1'-0"

GEORGE MURILLO
DUPLEX

SHEET LEGEND
SHEET 1: FLOORPLAN/FRONT ELEVATIONS/ROOF
SHEET 2: FOUNDATION/DETAILS
SHEET 3: FOUNDATION/DETAILS

JOB #

M25-330

1 of 3

My PLANSTORE
Drafting & Design LLC
* NEW CONSTRUCTION
* REMODELS/ADDITIONS
* AUTOMOTIVE DESIGN
brian@myplanstore.com

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MURILLO
DUPLEX
Master Set
Copy _____
Last Printed 12/5/25

HEAT/COOL w/ EXTERIOR: 2566 SQ FT

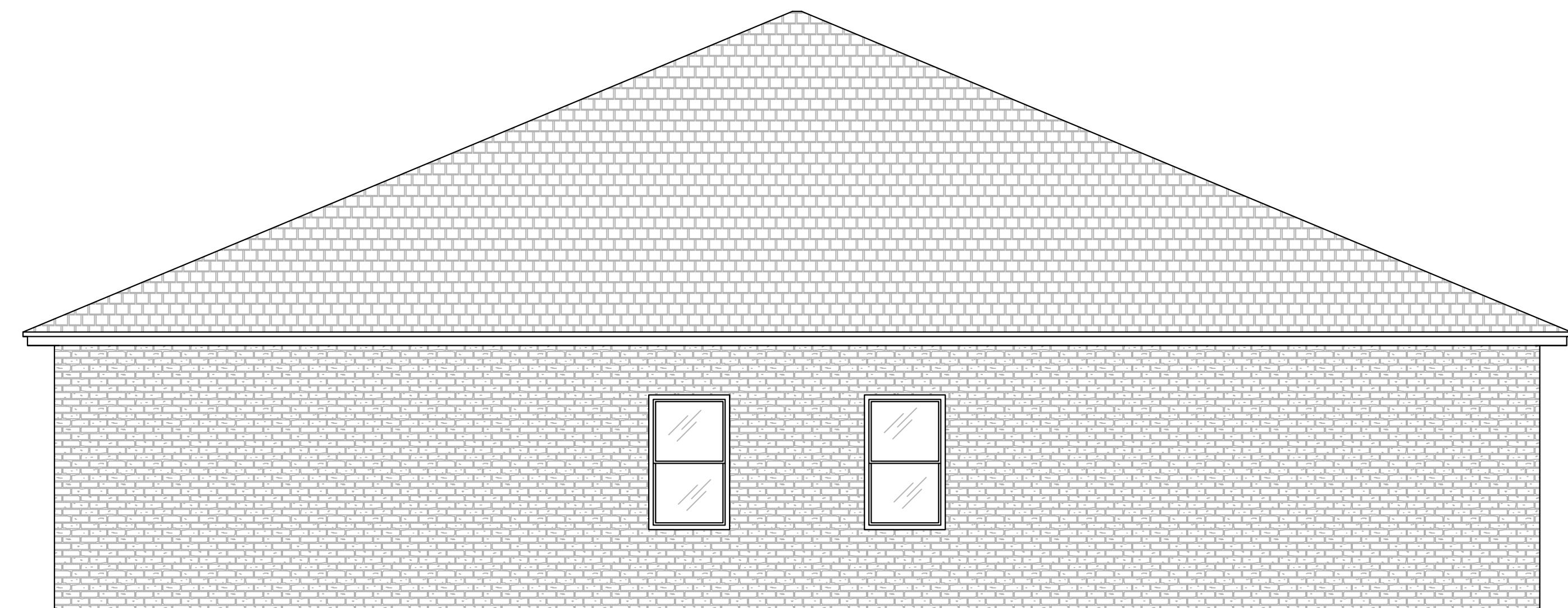
DATE 12/4/25

A DRAWING LOG
REVISION A RELEASED FOR CONSTRUCTION



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



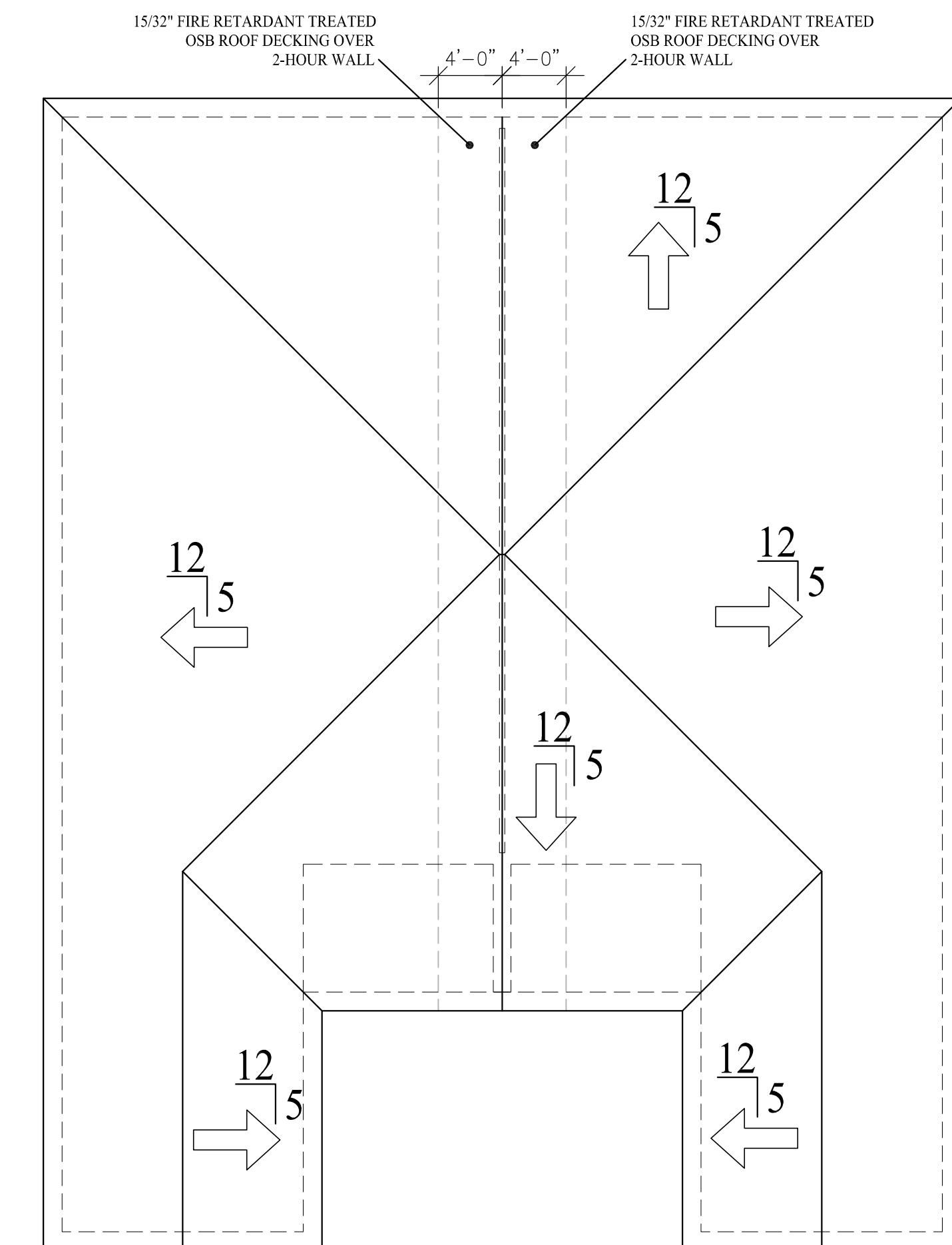
REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

NOTE:

PROVIDE ATTIC VENTILATION WITH LOUVERED VENTS AT GABLE ENDS, SOFFIT VENTS, AND/OR RIDGE VENT EQUAL TO 1 SQ FT PER 150 SQ FT OF ATTIC.

ROOF GUTTERS AND DOWN SPOUTS PER BUILDER AND OWNER AGREEMENT

ROOF PLATE HEIGHTS ARE SHOWN AT EXTERIOR FINISH HEIGHT. ADJUST ACCORDINGLY

MURILLO		DUPLEX
208-1407 brian@myplanstore.com		
(501) 305 BROADWAY * MORRILTON AR * NEW CONSTRUCTION * REMODELS / ADDITIONS * AUTOMOTIVE DESIGN * APARTMENTS * CHURCHES * SUBDIVISIONS		
SHEET LEGEND SHEET 1: FLOORPLAN/FRONT ELEVATIONS/ROOF SHEET 2: ELEVATIONS/ROOF SHEET 3: FOUNDATION/DETAILS		
JOB # M25-330 2 of 3		

GEORGE MURILLO
DUPLEX

SHEET LEGEND
 SHEET 1: FLOORPLAN/FRONT ELEVATIONS/ROOF
 SHEET 2: ELEVATIONS/ROOF
 SHEET 3: FOUNDATION/DETAILS

HEAT/COOL w/ EXT.: 2566 SQ FT

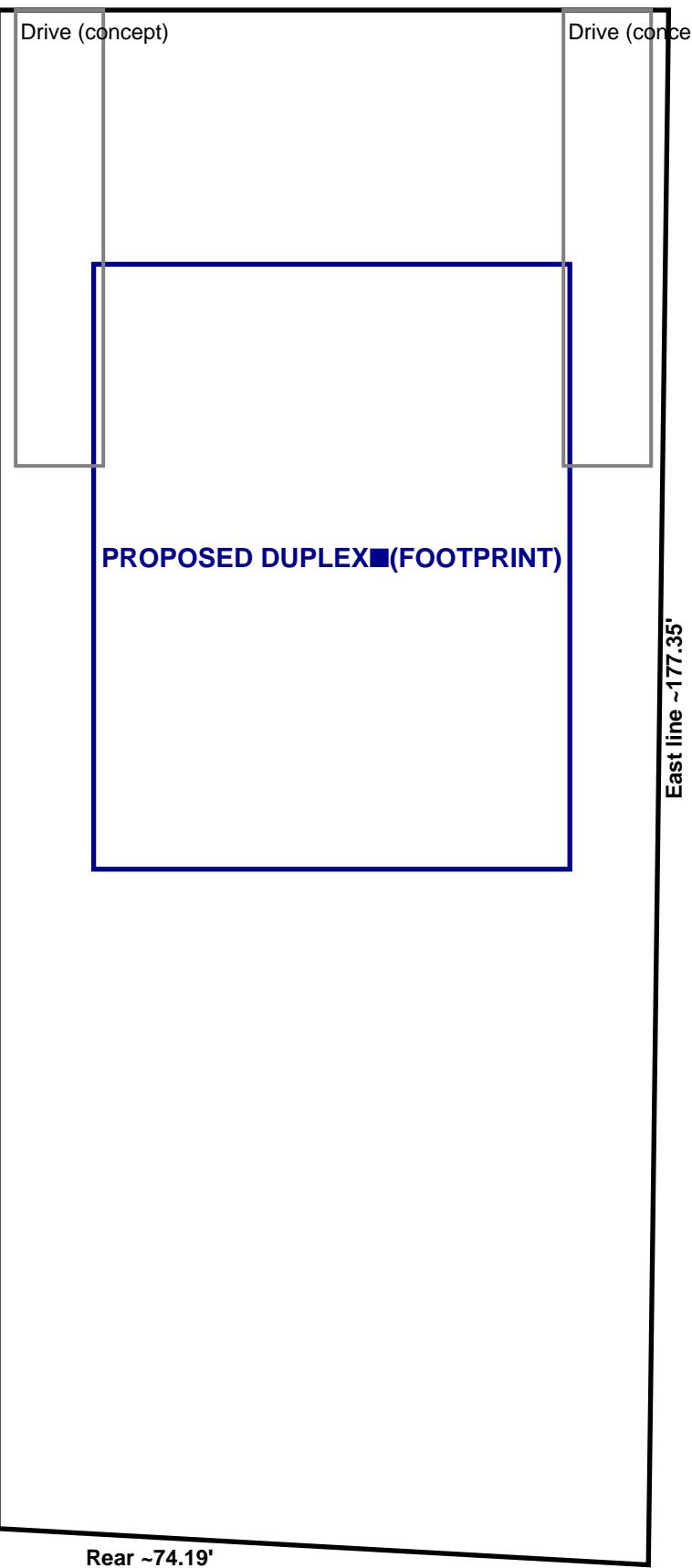
REVISION A
 DRAWING LOG
 RELEASED FOR CONSTRUCTION 12/4/25

Master Set
 Copy
 Copy
 Last Printed 12/5/25

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 Builder is to verify all dimensions. If in doubt, call "MY PLAN STORE".

TEETWOOD ROAD (N)

Frontage ~76.5'



N

SITE PLAN (REZONING)

Address: 8709 Teetwood Rd, Sherwood, AR 72120

Existing Zoning: R-1 (Single-Family)

Requested Zoning: R-2 (Two-Family/Duplex)

Proposed Use: Duplex (per plans M25-330)

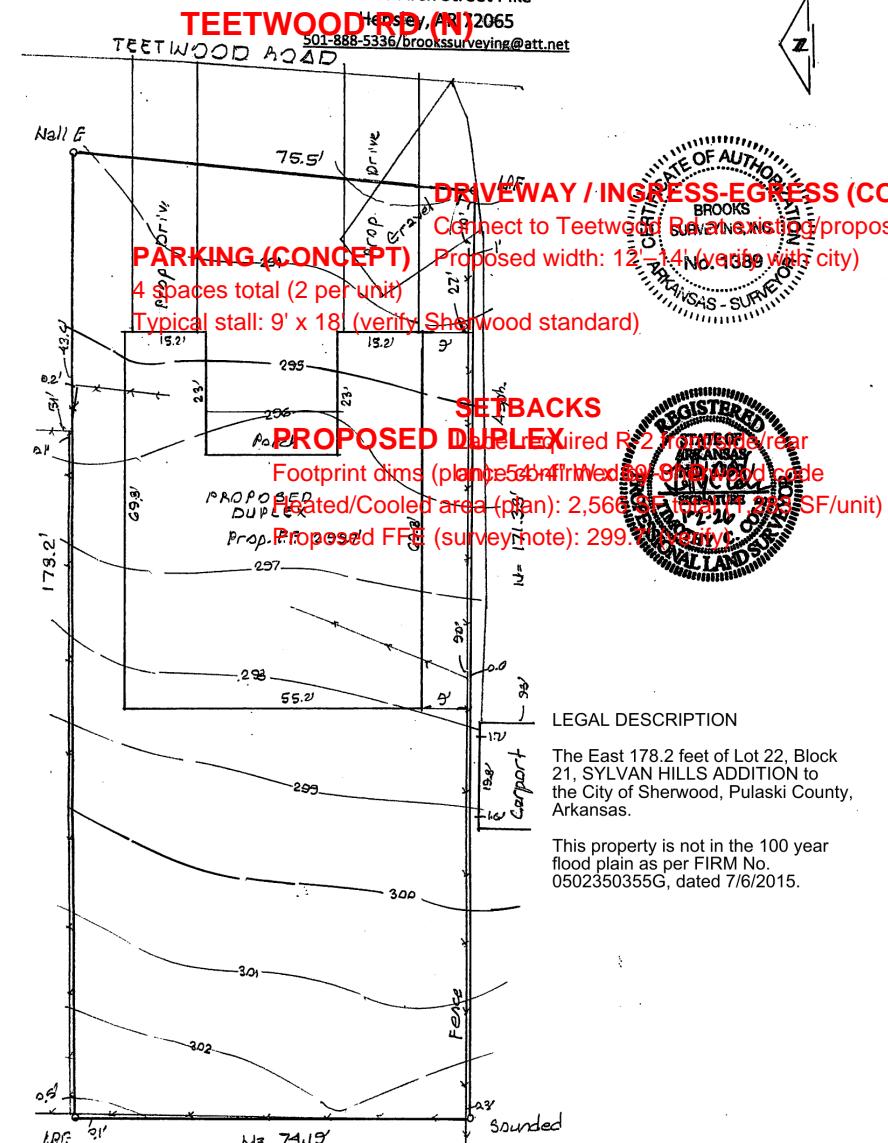
Survey: Brooks Surveying, Inc. (Jan 2, 2026)

Lot: East 178.2' of Lot 22, Block 21, Sylvan Hills Addition

Scale: 1"=20'

N
↓

BROOKS SURVEYING, INC.
20820 Arch Street Pike
Hartville, OH 44632-12065
501-888-5336/brooks.surveying@att.net



VICINITY MAP (attach exhibit)

Use City GIS or Google Map with site highlighted.
Label nearby streets and surrounding zoning if required.

SITE PLAN (DETAILED)

Rezoning Exhibit: R-1 → R-2 (Duplex)

Address: 8709 Teetwood Rd, Sherwood, AR 72120
Existing Zoning: R-1
Requested Zoning: R-2
Use: Two-family / Duplex
Lot frontage: ~76.5' (survey)
Lot depth: ~173-177' (survey)
Building footprint: 54'-4" x 69'-0" (plans)
Heated/Cooled: 2,566 SF total (1,283 SF/unit)

Calculated (approx):

- Est. lot area: 13,388 SF (using ~76.5' x 175.0')
- Footprint area: 3,749 SF
- Est. building coverage: 28.0% (verify with exact lot area)

Sherwood checklist items shown:

- Graphic scale + north arrow
- Lot lines / ROW (from registered survey)
- Building location & outline
- Parking location (concept) + space count
- Ingress/egress (concept driveway)
- Topography contours + floodplain note

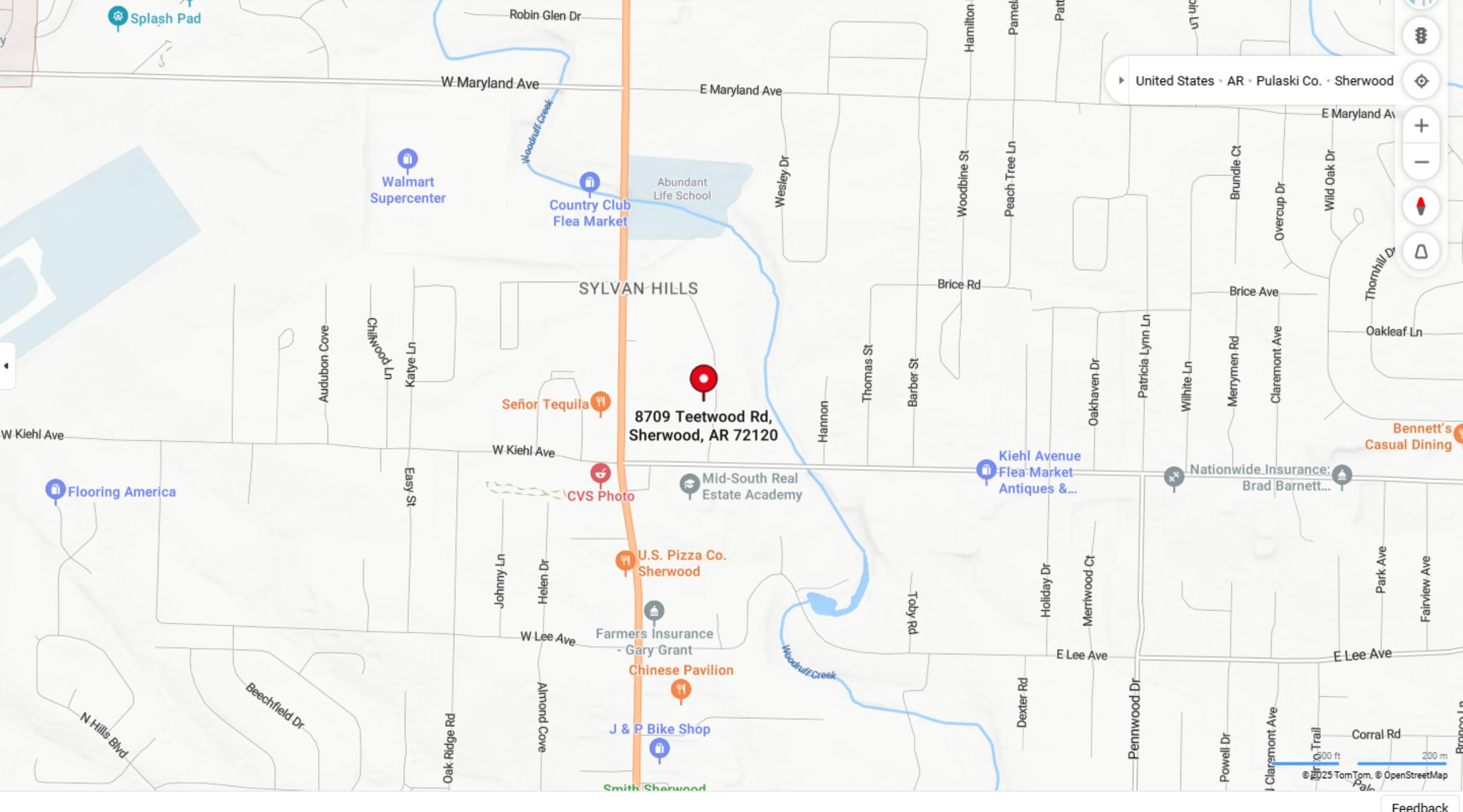
Still needed for full Site Plan Review:

- R-2 setbacks confirmed + labeled distances
- Vicinity map exhibit
- Utilities & drainage/street easements (if applicable)
- Drainage calcs/profile sheets + engineer stamp (if required)
- Finished floor elevation confirmed on plans
- Landscape/buffer/screening details if required

This is to certify that the above described land has been surveyed. The corners are marked as shown and are in accordance with existing monuments in the area. Survey makes no statement concerning flood status of property unless otherwise stated. **THIS SURVEY IS CERTIFIED TO AND LIMITED TO THE PARTIES SHOWN HEREON.**

NOTES

1. Base survey: Brooks Surveying, Inc. (Jan 2, 2026), scale 1"=20'.
2. This exhibit is for rezoning/site plan review support and is not a construction permit set.
3. Verify R-2 setbacks, driveway standards, parking standards, and any design standards with Sherwood.
4. If Sherwood requires engineering, a licensed PE must prepare/stamp drainage and utility sheets.



STAFF REPORT

Application Type: Rezone

Application: REZ.202601.8709 Teetwood



Planning Commission Meeting: 2/10/2026

REQUEST

Applicant is requesting to rezone a portion of Lot 22, Block 21 Sylvan Hills, comprised of approximately ± 0.31 acre, from R-1 to R-2. The applicant has submitted a replat and site plan application, as required by Section 14.04.02.C., concurrently for approval.

OWNER/AGENT INFORMATION

Owner: George Murillo, 19 Inerness Circle, Little Rock, AR 72212-2905
Applicant/Authorized Agent: George Murillo

TECHNICAL SITE INFORMATION

Location/Parcel ID: 8709 Teetwood Road (The E178.2' of Lot 22, Block 21 Sylvan Hills)
Parcel ID: 22S0020024500
Property Area: ± 0.31 acre (*Pulaski Accessor*)
Current Zoning: Single Family Residential (R-1)
Land Use Plan: Office/Buffer Area (S-OFF)
Surrounding Zoning/Land Use: North – Single Family Residential (R-1)/ Office/Buffer Area (S-OFF)
South – Single Family Residential (R-1)/ Office/Buffer Area (S-OFF)
East – Single Family Residential (R-1)/ Office/Buffer Area (S-OFF)
West – General Commercial District (C-3)/ Commercial Corridor (S-COR)

EXISTING CONDITIONS

Subject property is a ± 0.31 -parcel developed with a single-family residential structure that is currently unoccupied. A demolition permit for the residential structure was issued on September 25, 2025; at the time of this staff report, the structure has not been removed.

PUBLIC NOTIFICATION

The rezone request will be advertised by the applicant in a publication of general circulation no later than January 26th, 2026. Proof of advertising will be submitted to Planning staff no later than 10 days prior to the February 10th, 2026, Planning Commission meeting.

The applicant will mail notification letters to all property owners within 300 feet of the subject property no later than January 26th, 2026. Proof of mailing must be provided to Planning staff no later than 10 days before the February 10th, 2026, Planning Commission meeting. A list of property owners within 300 feet was provided to the applicant on 0 January 10th, 2026.

Signs shall be placed on the subject property no later than January 26th, 2026, and remain on the property until final action is taken by the Sherwood City Council.

Staff encourages the applicant to refer to the 2026 Public Notification Date schedule emailed on January 10th, 2026.

All notification requirements were met.

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Office/Buffer Area (S-OFF). **These areas include a mixture of office, light commercial uses and various housing types including duplexes, small-scale multi-family, single-family attached homes, and single-family detached homes. The districts typically represent areas in transition from single-family residential to more intensive uses or areas which office and limited commercial is most appropriate. Within these transitional areas, a great deal of care is warranted in order to balance the pressure to allow more productive uses with the need to protect existing property owners.**

MASTER STREET PLAN

The subject property has ~75.7' of direct frontage and takes access from Teetwood Road.

Teetwood Road: Local Street (50' ROW)

STAFF ANALYSIS

1. Consistency with the Comprehensive Plan - Sherwood Vision 2024:

- a. *The Comprehensive Plan indicates the subject property as Office/Buffer Area; the subject property is located and of adequate size to accommodate a single duplex structure and functions in the capacity to support redevelopment/change of use on site in a manner consistent with the Comprehensive Plan.*

2. Potential Public Benefit:

- a. *Rezoning to R-2 (Small Scale Multi-Family) is consistent with and advances the intent of the Comprehensive Plan which identifies the subject property [8709 Teetwood Rd] appropriate for duplex development.*
- b. *The subject property abuts C-3 to the west and is ~399.4' north of the intersection of Teetwood Rd and E Kiehl Ave.*
- c. *S-OFF supports a wide variety of uses intended to function as a buffer between lower intensity residential and higher intensity commercial uses. The use captured as part of the minimum application requirements would maintain the intended transitional role and carry out the intent of the Comprehensive Plan.*

3. Impact on Adjacent/Nearby Properties:

- a. *Rezoning the property to R-2 is unlikely to result in negative impacts to adjacent residential properties. The development proposed consists of a low-density residential structure (one duplex), which is compatible in scale and intensity with surrounding residential uses established along and adjacent to Teetwood Rd.*
- b. *Parcels along and that take access via Teetwood Rd include a mix of established single-family dwellings, unrecorded residential pipe-stem lots, and newly constructed single-family dwellings.*
- c. *The site provides ~75.5' of direct frontage on and takes vehicular access from Teetwood Rd. Per §14.04.02.G of the Zoning Code, the surveyed frontage indicates the subject property meets the minimum lot area required for development in the R-2 zoning district.*
- d. *The subject property has at some point been illegally separated from the remainder of Lot 22 resulting in a separate ±0.26-acre parcel (22S0020024600) adjacent to west (rear). Prior redevelopment of the subject property, a replat of the subject property and abutting property to the north will be required to prevent the creation of a landlocked site. Additional considerations for split zoning of the illegally divided property are discussed in the following section.*

4. Split Zoning Consideration:

- a. *Approval of the applicant's request [rezone of only the eastern portion of Lot 22, Block 21, Sylvan Hills] would result in split zoning a legally recorded lot, which is generally not considered a best planning practice [see SPL.202601.8709 Teetwood report for additional requirements and recommendations]. Applicant has*

STAFF REPORT

Application Type: Rezone

Application: REZ.202601.8709 Teetwood

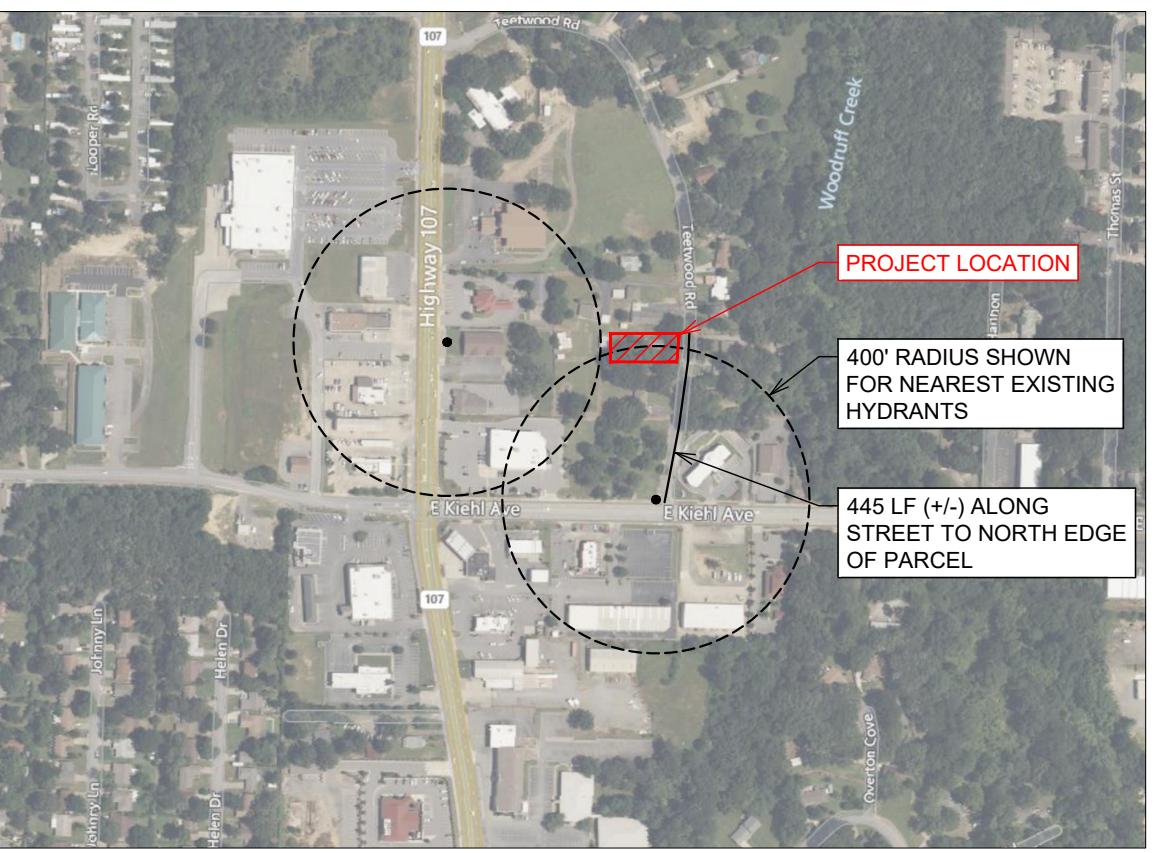
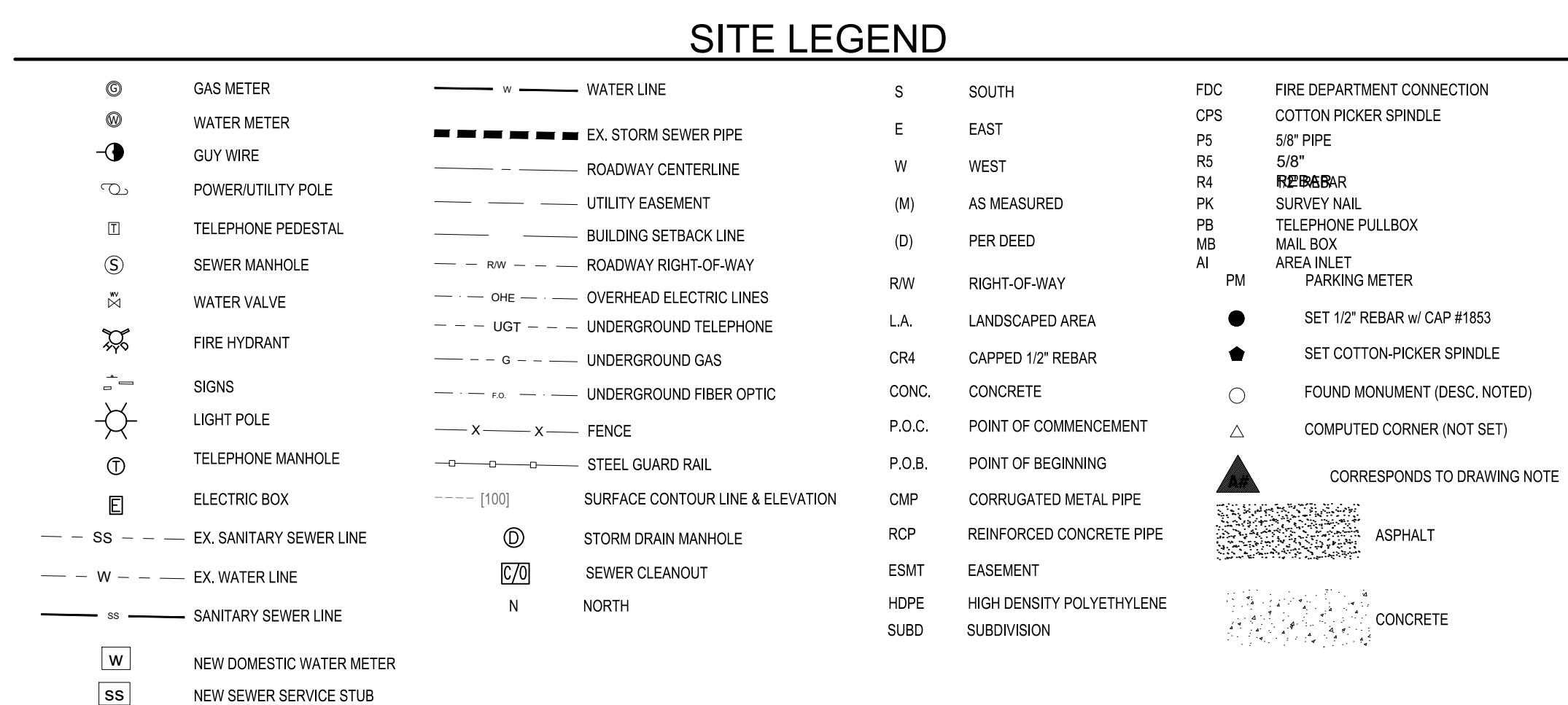
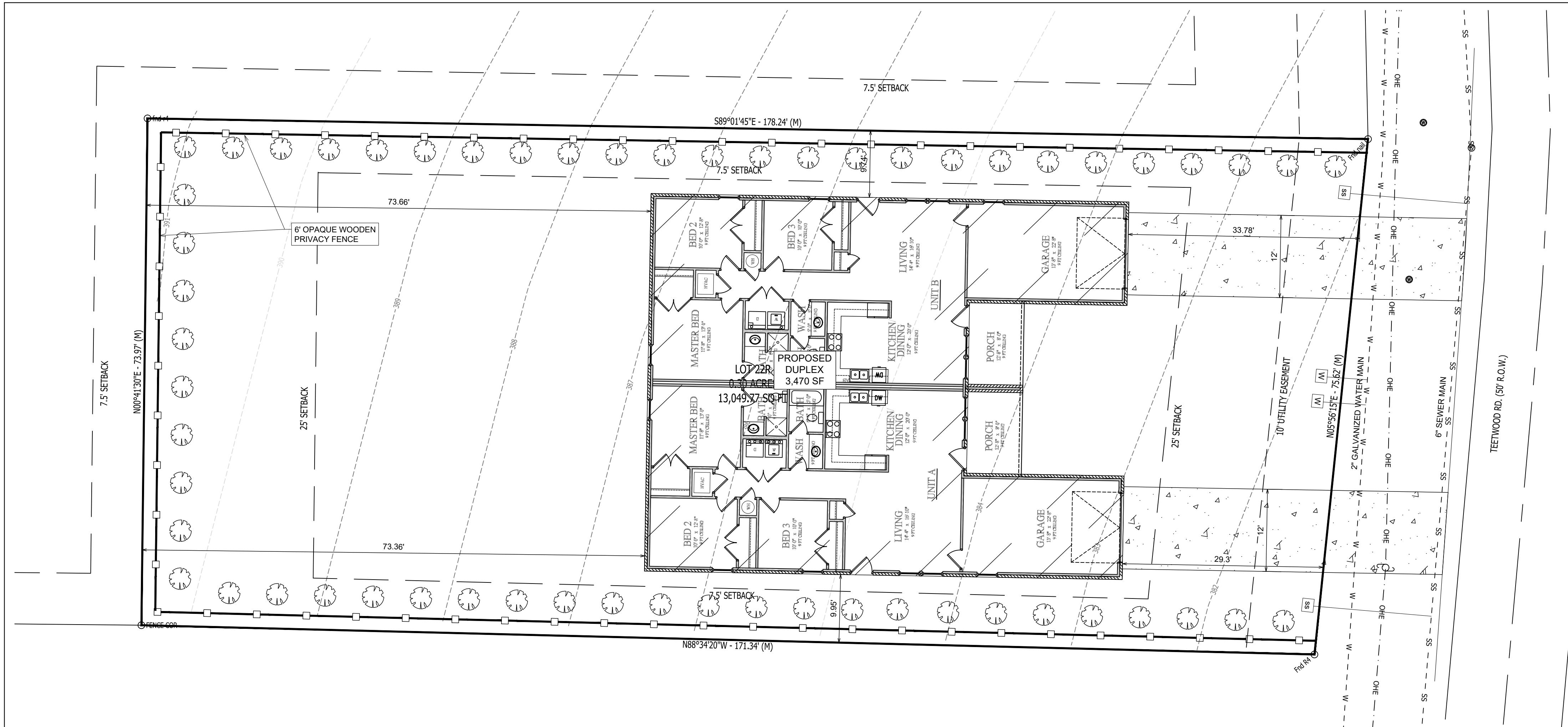


Planning Commission Meeting: 2/10/2026

made a good faith effort to legally replat the property into 2 legal lots of record by submitting a replat to be considered concurrently with the rezone and site plan review.

STAFF RECOMMENDATION

As an established practice, staff will administratively table the applicant's rezoning request due to the current status of the property's legal description and the request to split-zone the existing lot. While staff does not oppose the applicant's rezoning request, tabling the item is an established practice to allow the applicant sufficient time to file a replat with the County Recorder. This action will remedy the split-zoned lot prior to final staff recommendation for approval of the request.



8709 TEETWOOD ROAD

SHERWOOD, ARKANSAS

PHILLIP LEWIS ENGINEERING, INC.

Structural + Civil Consultants

23620 Interstate 30 | Bryant, Arkansas

PH: 501-350-9840

PROJECT NUMBER:
 SHEET ISSUE DATE:
 01-27-2026
 PAGE TITLE:
 SITE LAYOUT PLAN
 SHEET NUMBER:
 C1.1



0

10'

1" = 10'-0"

STAFF REPORT

Application Type: Site Plan Review
Application: SPL.202601.8709 Teetwood



Planning Commission Meeting: 2/10/2026

REQUEST

Pursuant to §14.04.02.C of the Zoning Code (in conjunction with a request to rezone the subject property to R-2) the applicant requests site plan approval for new construction of a single duplex structure on the eastern portion of Lot 22, Block 21, Sylvan Hills. The applicant has submitted a rezoning request and replat review concurrently on this agenda.

OWNER/AGENT INFORMATION

Owner: George Murillo, 19 Inerness Circle, Little Rock, AR 72212-2905
Applicant/Authorized Agent: Georger Murillo

TECHNICAL SITE INFORMATION

Location/Parcel ID: 8709 Teetwood Road (E178.2' of Lot 22, Block 21 Sylvan Hills)
Parcel ID: 22S0020024500
Property Area: ±0.31 acre (*Pulaski Accessor*)
Current Zoning: Single Family Residential (R-1)
Land Use Plan: Office/Buffer Area (S-OFF)
Surrounding Zoning/Land Use: North – Single Family Residential (R-1)/ Office/Buffer Area (S-OFF)
South – Single Family Residential (R-1)/ Office/Buffer Area (S-OFF)
East – Single Family Residential (R-1)/ Office/Buffer Area (S-OFF)
West – General Commercial District (C-3)/ Commercial Corridor (S-COR)

EXISTING CONDITIONS

Subject property is a ±0.31-parcel developed with a single-family residential structure that is currently unoccupied. A demolition permit for the residential structure was issued on September 25, 2025; at the time of this staff report, the structure has not been removed.

PUBLIC NOTIFICATION

n/a

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Office/Buffer Area (S-OFF). **These areas include a mixture of office, light commercial uses and various housing types including duplexes, small-scale multi-family, single-family attached homes, and single-family detached homes.** The districts typically represent areas in transition from single-family residential to more intensive uses or areas which office and limited commercial is most appropriate. **Within these transitional areas, a great deal of care is warranted in order to balance the pressure to allow more productive uses with the need to protect existing property owners.**

MASTER STREET PLAN

The subject property has ~75.7' of direct frontage and takes access from Teetwood Road.

Teetwood Road: Local Street (50' ROW)

STAFF ANALYSIS

1. Scaled site plan: **Site plan review of 1 proposed lot containing 1 duplex structure – yielding 2 dwelling units.**
 - a. Graphic scale: **Addressed; site plan indicates a Scale 1" = 10'.**
 - b. Proposed lot lines. **Addressed; property boundary indicates development proposed on Lot 22R.**
 - c. ~~Existing and proposed vehicular and pedestrian circulation systems including streets, alleys, walkways, service areas and loading areas, the location and arrangement of off-street parking areas and all points of vehicular ingress and egress.~~
 - i. **Applicant proposes two (2) driveways to serve each individual dwelling unit.**
 - ii. **Revise plan to indicate required sidewalk improvement and green space on the west side of Teetwood Rd in accordance with the Public Works Residential Standard Detail. Staff would entertain consideration of modified street improvements, with approval of the consulting City Engineer, considering the current built condition of Teetwood Rd as open ditch and no sidewalks. Addressed; applicant request a waiver to the required sidewalk improvement on the basis of existing roadway conditions and Teetwood Rd developed condition of single family dwellings.**
 - d. Proposed perimeter treatment of the property, indicating screening materials to be used including fences, walls, and plant materials together with a description of uses, setbacks and their proposed relationship to surrounding areas. **Partially addressed; applicant proposes addition of 6' opaque wooden privacy fencing along the west, north and south property boundary. Applicant must revise site plan to detail termination of the 6' fence at the 25' front yard setback or indicate tapered fencing in accordance with §14.10.02.B.1.b. of the Zoning Code.**
 - e. Schematic landscape plan showing proposed treatment of the areas designated as either buffers or private common open space. **Landscape plan captured on site plan**
 - i. **Where R-2 zoning abuts R-1 zoned property, dense evergreen shrubbery shall be installed. Addressed; applicant has indicated installation of 57 3-gallon evergreen shrubs.**
 - ii. **For non-vehicular use areas, the shrubbery shall attain a minimum height of eight (8) feet and a minimum thickness of five (5) feet within five (5) years. In addition, a six-foot (6') opaque wall or fence shall be installed along the west, north, and south property boundaries in conjunction with the required dense evergreen shrubbery. Addressed; applicant must provide a General Note on the landscape plan to indicate the proposed plant material, adjacent to the residentially zoned property, will reach a minimum height of 8' and 5' thickness within 5-years.**

STAFF REPORT

Application Type: Site Plan Review
Application: SPL.202601.8709 Teetwood



Planning Commission Meeting: 2/10/2026

- iii. *Provide existing and/or proposed opaque fence material and capture elevation on site plan. Addressed; revise linework to depict fencing in the legend matches the proposed 6' opaque privacy fence indicated on the site plan.*
- iv. *Provide legend indicating species of the proposed plants and proposed number of each in accordance with Zoning Code § 14.16.06. Addressed; captured on site plan.*
- f. Location and dimension of all existing and proposed utilities, drainage, and street easements within the site. *Not addressed; indicate all existing and all proposed utilities on the subject property and provide use. Capture linework in legend. Addressed; applicant indicates location of existing utilities adjacent to Teetwood Rd.*
- g. Proposed location of structures and structural dimensions, dimension distances between buildings, and distances from structures to property lines.
 - i. *Dimension distance of proposed structures to property lines. Addressed*

2. A topographical cross section map of the site ~~and the location of the one hundred (100) year flood elevation the parcel of land~~. *Addressed; applicant provided a topo map as part of site plan revision at 1' intervals.*

3. Quantitative data including the following:

- a. Proposed building coverage of principal and accessory buildings. *Not addressed; applicant must calculate and provide a General Note indicating the proposed building coverage of all principal and all accessory structures [% format required].*
- b. Parcel size. *Addressed; total property area indicated in General Notes is ±0.31 acres.*
- c. Proposed floor area of principal and accessory buildings. *Addressed; proposed duplex/3470 sf under roof. Applicant does not indicate construction of an accessory structure.*
- d. Proposed number of parking spaces. *Action required; applicant proposes two standard 12' driveways to serve each unit allowing adequate parking spaces at 1 ½ spaces per dwelling. Applicant must provide a General Note to address the number of parking spaces provided.*
- e. A registered land survey showing the exact property or boundary lines, including a legal description of the total site for development, including a statement of present ownership. *Applicant submitted a Replat to be heard concurrently with the SPL.*

4. Engineering (anticipate additional comments from Engineering)

- a. *City consulting engineer identified location of an existing storm drain manhole and flared end section near the SE corner of the property. The applicant must confirm where the storm drain is coming from and if it conflicts with the proposed building footprint [see 1.f]. Addressed; applicant indicates the junction box and flared end section was no located on the subject property, but rather two parcels north.*

5. Operational questions/concerns:

- a. General:
 - i. *Add General Notes for items not labeled on plan [see 1.e.ii., 3.a., 3.d.]*
 - ii. *Add/correct legend for all linework and symbols. Provided*
- b. Fire (anticipate additional comments from Fire Marshal):
 - i. *Indicate distance (in linear feet along the street) of nearest fire hydrant(s) to ensure compliance with the AFPC. Addressed; per directive of the Fire Marshal, no additional fire hydrant is required with redevelopment of the site.*
- c. Exterior:
 - i. *Indicate site lighting on plan, location and fixture type, as applicable. Addressed; applicant confirms in General Note #4 no site lighting is proposed by the site plan.*

STAFF REPORT

Application Type: Site Plan Review
Application: SPL.202601.8709 Teetwood



Planning Commission Meeting: 2/10/2026

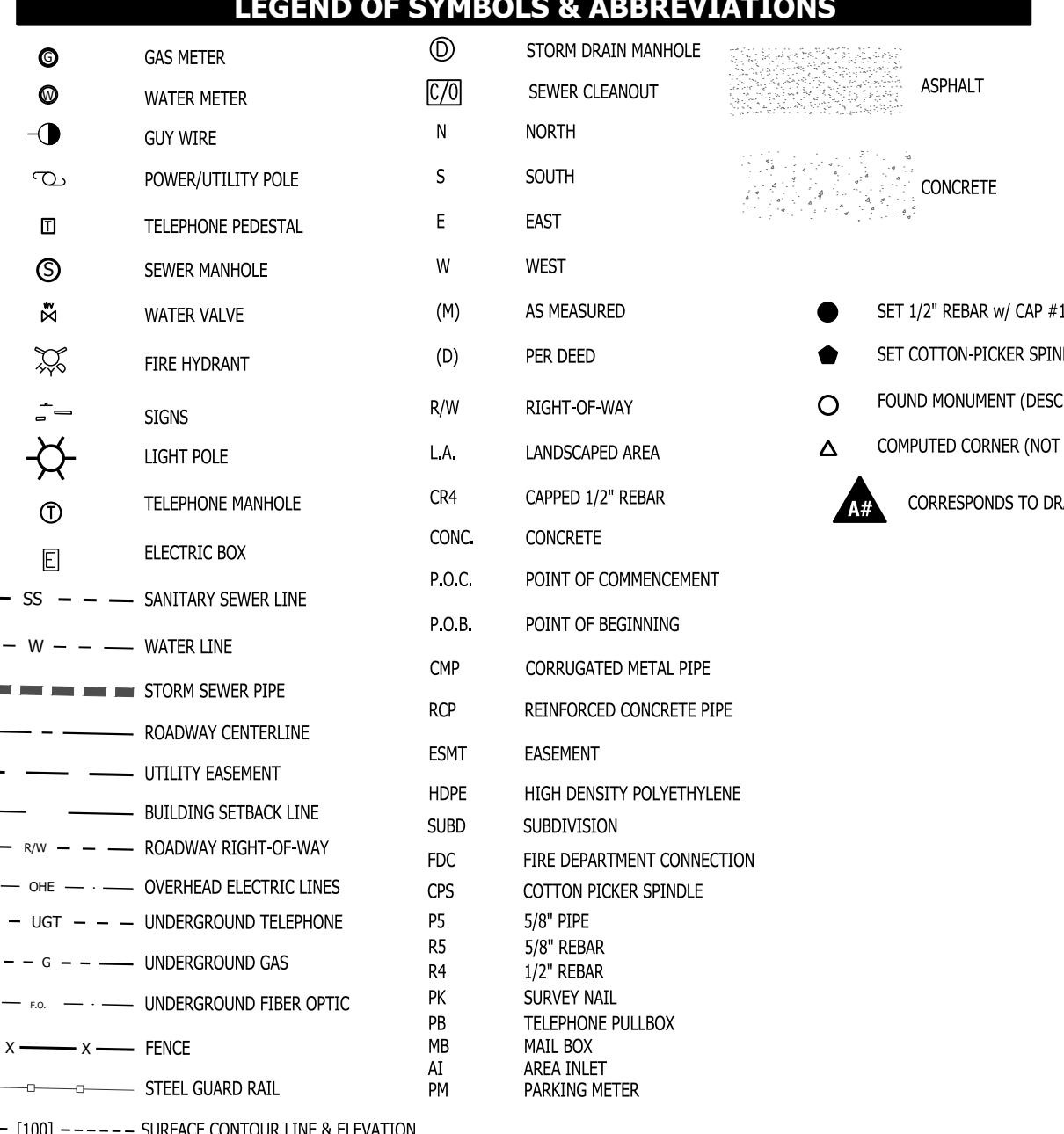
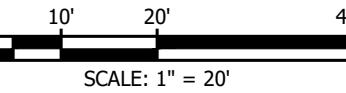
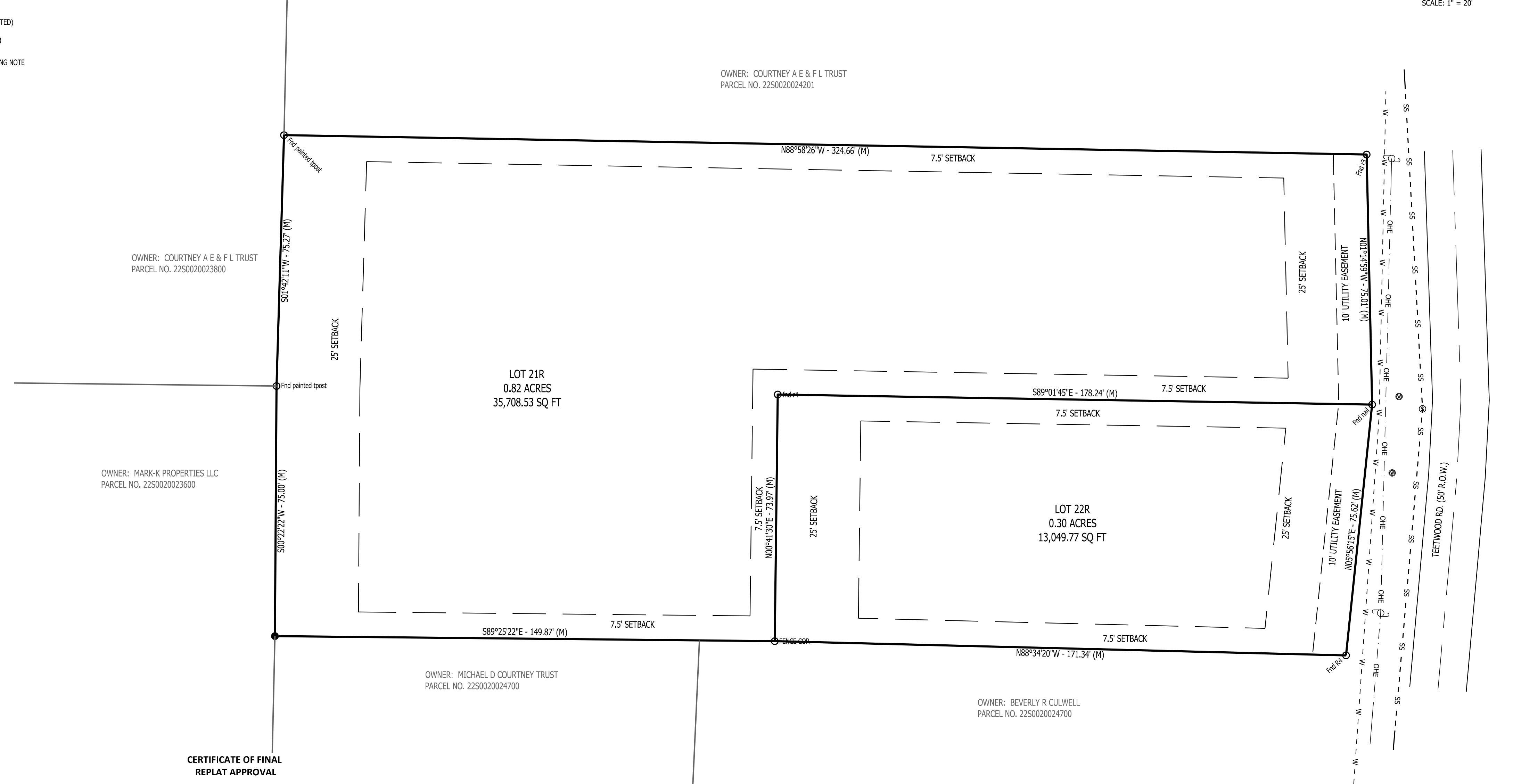
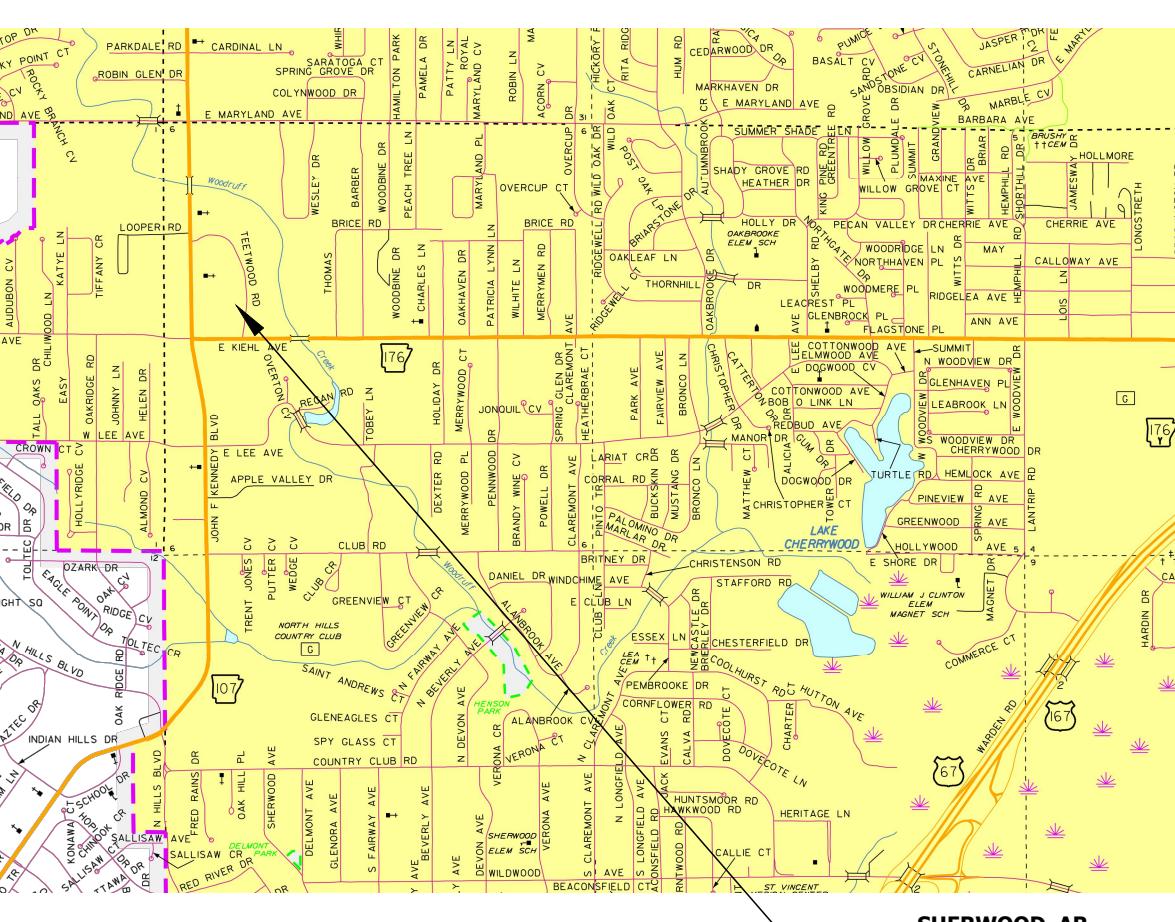
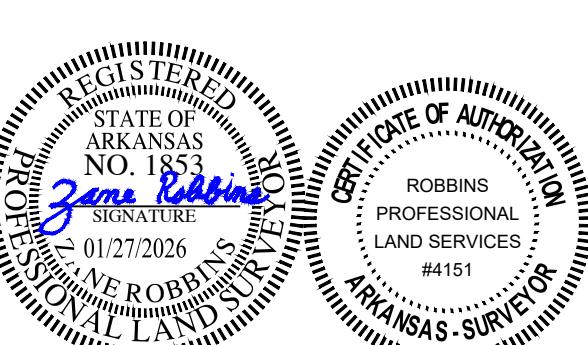
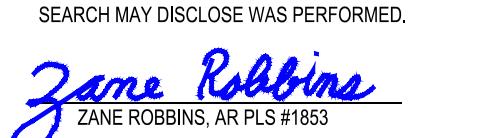
6. Additional Considerations and Replat Requirements: *Addressed; applicant has submitted a replat to be reviewed concurrently with the SPL application and REZ request.*
 - a. *Lot 22, Block 21, Sylvan Hills has been illegally subdivided using a meted and bounds description. There are no records other than those for taxation purposes that provide clarification; a metes and bounds description does not constitute a legally recognized lot of record. Thus, a building permit may not be issued per § 1.3.G. of the Subdivision Rules and Regulations.*
 - b. *The subject property has at some point been illegally separated from the remainder of Lot 22 resulting in a separate ±0.26 acre parcel (22S0020024600) adjacent to west (rear). Prior redevelopment of the subject property, a replat of the subject property and abutting property to the north will be required to prevent the creation of a landlocked site.*
 - c. *Adequate street frontage must be provided for the entirety of Lot 22 upon replat into two (2) legal lots of record. The current site design indicates extensive lot coverage, which may preclude the ability to provide the minimum required 20' street frontage necessary for the rear portion of Lot 22.*
 - i. *Staff requests clarification as to how the proposed site redevelopment will facilitate the creation of two (2) legal lots that comply with the minimum requirements of the Subdivision Rules and Regulations.*
 - ii. *Note: the creation of a substandard lot is not permitted. It is imperative that the property configuration be addressed to resolve the legal description discrepancy and confirm feasibility of the proposal.*

Waivers requested: *Applicant requests a waiver to the required sidewalk improvement along Teetwood Rd on the basis of existing roadway, and built environment of Teetwood Rd.*

STAFF RECOMMENDATION

As an established practice, staff will administratively table the applicant's site plan review due to the current status of the property's legal description and because the proposed development is contingent upon rezoning from R-1 to R-2. While staff does not oppose the applicant's rezoning request, tabling the item allows sufficient time for the applicant to file a replat with the County Recorder, thereby avoiding a premature recommendation of approval and providing additional time for the applicant to address outstanding comments [below]:

1. Revise the site plan to indicate removal of the proposed 6' opaque wood privacy fence at the 25' front building line, or provide tapered fencing in accordance with §14.10.02.B.1.b.
2. Provide a General Note stating that proposed plant material adjacent to R-1 zoning (west, north and south property boundary) will achieve a minimum height of 8 feet and a minimum width of 5 feet within five (5) years.
3. Include a General Note identifying the percentage of lot coverage proposed for all principal and accessory structures.
4. Include a General Note quantifying the total number of parking spaces provided for the proposed duplex development.
5. Planning Commission approval to waive the required sidewalk improvements along Teetwood Road; or revise plan to indicate installation of required improvements.
6. Approval and recordation of the replat with the County Recorder.
7. Final action by City Council authorizing rezoning of the subject property from R-1 to R-2.

LEGEND OF SYMBOLS & ABBREVIATIONS		DATE REVISIONS	
			
			
OWNER: COURTNEY A E & F L TRUST PARCEL NO. 2250020024201			
			
GENERAL NOTES <p>1. BASIS OF BEARING FOR THIS SURVEY IS ARKANSAS GRID NORTH. DISTANCES SHOWN ARE CUBIC MEASUREMENTS.</p> <p>2. REFERENCES:</p> <ul style="list-style-type: none"> A. PLAT OF BLOCKS 21 & 22 SYLVAN HILLS ADDITION B. SURVEY BY EDWARD LOTON DATED 6-8-20 FOR GEORGE MURILLO. C. SURVEY BY BROOKS SURVEYING DATED 1-2-26 FOR GEORGE MURILLO. D. REDEMPTION INSTRUMENT NO. 489041 TO GEORGE MURILLO. INSTRUMENT NO. 2025004215. E. DEED OF REDEMPTION BY GEORGE MURILLO. INSTRUMENT NO. 2017065882. <p>3. THIS PROPERTY IS ZONED R-1.</p> <p>4. A CERTIFICATE OF RECORDING IS NOT NECESSARY. CURRENT RECORDING PRACTICES UTILIZE A MODERNIZED STICKER FORMAT.</p> <p>5. WHILE THE REQUIREMENT OF A CERTIFICATE OF ENGINEERING ACCURACY IS ACKNOWLEDGED, THIS FINAL PLAT IS TO ESTABLISH LOT LINES AND DOES NOT NECESSITATE ADDITIONAL ENGINEERING.</p>			
PROPERTY ADDRESS 8709 & 8715 TEETWOOD RD SHERWOOD, AR 72120			
CURRENT OWNER OF RECORD GEORGE MURILLO 19 INVERNESS CIR LITTLE ROCK 72212 PARCEL NO. 2250020024500			
ALVIN E COURTNEY /FRANCES LOUISE TRUST PO BOX 6321 SHERWOOD AR 72124 PARCEL NO. 2250020024300			
			
VICINITY MAP (NTS) SITE LOCATION			
		ROBBINS PROFESSIONAL LAND SERVICES INCORPORATED SURVEYING GIS CONSTRUCTION STAGING PO BOX 593 BRYANT, ARKANSAS 72089 OFFICE: 501-425-6380 EMAIL: ZANEROBBINS@GMAIL.COM	
CERTIFICATE OF FINAL REPLAT APPROVAL ALL REQUIREMENTS OF THE SHERWOOD SUBDIVISION RULES AND REGULATIONS RELATIVE TO THE PREPARATION AND SUBMITTAL TO A FINAL REPLAT HAVE BEEN FULFILLED. APPROVAL OF THIS PLAT IS HEREBY GRANTED, SUBJECT TO FURTHER PROVISIONS OF SAID RULES AND REGULATIONS.		CERTIFICATE OF LAND SURVEYING ACCURACY I HEREBY CERTIFY THAT THIS REPLAT REPRESENTS A SURVEY MADE BY ME; AND THAT ALL MONUMENTS SHOWN HEREIN ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.	
DATE OF EXECUTION _____ NAME, CHAIRMAN OR VICE-CHAIRMAN SHERWOOD PLANNING COMMISSION		DATE OF EXECUTION _____ REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1853 ARKANSAS	
CERTIFICATE OF OWNER WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT.		CERTIFICATE OF OWNER WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT.	
DATE OF EXECUTION _____ SIGNED _____ NAME _____ ADDRESS _____		DATE OF EXECUTION _____ SIGNED _____ NAME _____ ADDRESS _____	
UTILITY NOTES <p>11. UTILITIES SHOWN ON THIS SURVEY ARE NOTED BY VISUAL OBSERVATION ONLY. LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS SURVEY MUST BE CONSIDERED TO BE APPROXIMATE AS NO EXCAVATION HAS TAKEN PLACE AS OF THIS DATE TO DETERMINE THEIR EXACT LOCATION. OTHER UTILITIES, TO WHICH THE EXISTENCE AND LOCATION ARE UNKNOWN, MAY BE LOCATED ON OR NEAR THE SUBJECT PROPERTY.</p>			
SOURCE OF TITLE: INSTRUMENT No. 2017065882 SOURCE OF TITLE: INSTRUMENT No. 2025004215			
CERTIFICATION I HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY SUPERVISION ON THIS DAY AND THAT ALL CORNERS ARE SET AS SHOWN. NO INDEPENDENT SEARCH FOR EASEMENTS, COVENANTS, ENCUMBRANCES, OR ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE WAS PERFORMED.			
			

STAFF REPORT

Application Type: Replat

Application: RPL.202601.8709 Teetwood



Planning Commission Meeting: 2/10/2026

REQUEST

Applicant is requesting replat approval of a two lot subdivision, to be identified as Lot 21R and 22R Sylvan Hills

Addition, being a replat of Lot 21 and 22, Block 21, Sylvan Hills Addition. The replat constitutes a lot line adjustment intended to remedy an undocumented lot split. The applicant has submitted a rezoning request and site plan review concurrently with the replat application.

OWNER/AGENT INFORMATION

Owner: George Murillo, 19 Inerness Circle, Little Rock, AR 72212-2905

Applicant/Authorized Agent: Georger Murillo

TECHNICAL SITE INFORMATION

Location/Parcel ID: ¹8709 Teetwood Rd, ²22S002004600, ³8715 Teetwood Rd

Parcel ID: ¹22S0020024500, ²22S002004600, and ³22S0020024300

Property Area: ± 1.12 acres total ($^1\pm 0.31$, $^2\pm 0.26$, and $^3\pm 0.56$)

Current Zoning: Single Family Residential (R-1)

Land Use Plan: Office/Buffer Area (S-OFF)

Surrounding Zoning/Land Use: North – Single Family Residential (R-1)/ Office/Buffer Area (S-OFF)

South – Single Family Residential (R-1)/ Office/Buffer Area (S-OFF)

East – Single Family Residential (R-1)/ Office/Buffer Area (S-OFF)

West – General Commercial District (C-3)/ Commercial Corridor (S-COR)

EXISTING CONDITIONS

Subject property consist of a single lot of record [Lot 22] with a portion conveyed under separate ownership by metes and bounds description, resulting in multiple ownership interests on the lot. The ± 0.31 -parcel is developed with a single-family residential structure that is currently unoccupied; unrelated to the single-family dwelling is an accessory structure on the westernmost portion of the lot.

PUBLIC NOTIFICATION

N/A

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Office/Buffer Area (S-OFF). **These areas include a mixture of office, light commercial uses and various housing types including duplexes, small-scale multi-family, single-family attached homes, and single-family detached homes.** The districts typically represent areas in transition from single-family residential to more intensive uses or areas which office and limited commercial is most appropriate. **Within these transitional areas, a great deal of care is warranted in order to balance the pressure to allow more productive uses with the need to protect existing property owners.**

MASTER STREET PLAN

The subject property has $\sim 150.63'$ of combined direct frontage and takes access from Teetwood Road.

Teetwood Road: Local Street (50' ROW)

STAFF REPORT

Application Type: Replat

Application: RPL.202601.8709 Teetwood



Planning Commission Meeting: 2/10/2026

STAFF ANALYSIS

1. Scaled drawing, including:
 - a. Name and address of current owner and subdivider – ***add notation on plat that is separate from the Certificate of Owner distinguishing current owner(s) of record from the subdivider; if current of owner(s) of record is also the subdivider, the plat note should reflect as Owner & Subdivider.***
 - b. ROW (street, alley, etc.) including name, width, and source of dedication
 - i. ***Teetwood Rd is classified as a Local street requiring 50' ROW. Add distance from C/L of Teetwood Rd to subject property to determine if additional ROW dedication is required.***
 - ii. ***Indicate half-street improvements on Teetwood Rd (curb, gutter and sidewalk).***
 1. ***Staff would support a modification request to waive additional ROW dedication requirements based on current built condition of Teetwood Rd. Additional action required by the applicant [waiver request w/ justification].***
 - c. Building setback lines with dimensions
 - i. ***Revise plat to indicate location, size and dimension for all existing structures located on Lot 21 and 22 for staff review. Clearly label any structures proposed for demolition.***
 - ii. ***Amend plat to identify the proposed lot line to be abandoned upon recordation of the replat.***
 - d. Easements and public service/utility ROW lines including dimensions, location, and purpose. ***Addressed; add a General Note for use of easements: "Easements for drainage and utilities unless otherwise noted."***
 2. Approval of water supply (agency), if other than by municipal system – ***Central Arkansas Water; provide Will Serve letter and indicate source via new General Note on the plat.***
 3. Approval of sanitary sewage disposal (agency), if other than by municipal system - ***North Little Rock Wastewater; provide Will Serve letter and indicate source via new General Note on the plat.***
 4. General Comments
 - a. ***Indicate distance (in linear feet along the street) of nearest fire hydrant(s) to ensure compliance with the AFPC.***
 - b. ***Provide draft Bill of Assurance for staff review.***
 - c. ***Error of closure NTE 1':5,000'. Add General Note***

Waivers requested: Per staff recommendation, the request for a modification to waive the required half-street improvements is pending submission by the applicant [see 1.b.ii.1].

STAFF RECOMMENDATION

Staff recommends the Planning Commission approve the replat with the following conditions of approval

Conditions of Approval:

1. Provide clarification distinguishing the current owner(s) of record from the subdivider(s) associated with the replat application.
2. Dimension ROW on Teetwood Rd from C/L of roadway to the subject property.
3. Planning Commission approval to waive the required sidewalk improvements along Teetwood Road; or revise plan to indicate installation of required improvements.
4. Indicate location, size and dimension of all existing structures across both Lot 21 and 22. Specify existing structures to be retained or demolished.
5. Revise replat to detail the proposed lot line to be abandoned upon recordation of the replat.
6. Provide Will Serve Letter from water and sanitary sewer providers.

STAFF REPORT**Application Type:** Replat**Application:** RPL.202601.8709 Teetwood**Planning Commission Meeting:** 2/10/2026

7. Add General Notes to capture error of closure statement and prescribed use of easements.
8. Provide draft Bill of Assurance.
9. Indicate distance of the nearest fire hydrants to ensure compliance with AFPC.



THOMAS ENGINEERING COMPANY

civil engineers

land surveyors

3810 LOOKOUT RD

NORTH LITTLE ROCK, AR 72116
NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS

(501)753-4463

December 1, 2025

City of Sherwood Planning Commission
31 Shelby Road
Sherwood, AR 72120

RE: Site Plan Review (SPL202601)
Sub Zero Heating and Air
Octopus Sushi & Hibachi
Lot 1R & 11R, Block 2, Carroll Heights Subdivision
Sherwood, Arkansas

Dear Commissioners:

We are resubmitting our site plan after revision / responding to the review comments for Lot 1R & 11R, Block 2, Carroll Heights Subdivision. Lot 1R is proposed for a 2000 SF metal building for SubZero HVAC. This will be an office with a little storage area at the back with shelving for parts and short-term storage. No operation will be offered from this site as they work on other people's air condition systems on site. This building will provide occupancy for only two office workers that work in the building.

Lot 11R is proposed for a restaurant building for Octopus Sushi. Architectural plans are attached for this building. Due to the size and existing grade, this site will require a retaining wall at the SE corner of Lot 11R. This wall is making it difficult to maintain a 6.0' landscaping strip at that location. We are also proposing 6.0' wood fence along the southern property line as the southern adjacent lots are residential lots. That's why we are requesting an exception on landscaping for SE corner of the lot. We are providing a separate landscaping plan showing all the landscaping strips, trees and interior vehicular landscaping areas.

We are also proving a drainage report showing the pre and post development flow and turnaround maneuverability for this site. Any additional documents (Architectural plan for HVAC office, site lighting plan, engineered plan for the retaining wall) will be provided upon completion of complete design.

If you have any questions, please give me a call.

Sincerely,

Thomas R. Pownall, P.E.
Vice President

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202601.Lot 1R and 11R, Blk 2 Carroll Heights Sub



Planning Commission Meeting: 1/13/2026

REQUEST

The applicant is seeking site plan approval for a two-lot commercial subdivision. The proposal includes construction of a new ~3,000 square foot HVAC business on Lot 1R and a new ~2,662 square foot restaurant on Lot 11R. The development proposes shared site access from E Kiehl Ave via Lot 1R and shared parking, located on Lot 11R. This application is submitted concurrently with a variance request to allow a comprehensive reduction of the required front yard setback on Lots 1R and 11R, Block 2, Carroll Heights Subdivision.

OWNER/AGENT INFORMATION

Owner: McAdams Lie Kianho/Austin/McAdams Judith/William, 8924 Stillwater Road
Sherwood, AR

Applicant/Authorized Agent: Thomas Engineering

TECHNICAL SITE INFORMATION

Location/Parcel ID: 1800 E Kiehl Ave
Parcel ID: 23S0180000700
Property Area: ±0.73 acre (*per Pulaski Co Assessor*); ±0.68 (*per replat*)
Current Zoning: Light Commercial (C-2)
Land Use Plan: Office/Buffer Area (S-OFF)
Surrounding Zoning/Land Use: North – General Commercial District (C-3)/Commercial Corridor (S-COR)
South – Single Family Residential (R-1)/Suburban Single Family (S-SFR)
East - Single Family Residential (R-1)/Suburban Single Family (S-SFR)
West - Single Family Residential (R-1)/Office/Buffer Area (S-OFF)

EXISTING CONDITIONS

Lot 1R is developed with a one-story 1,080 sf non-residential structure previously used as a hair salon; said structure is nonconforming on the basis of the significant building encroachment into the 40' front yard setback. Lot 11R is undeveloped.

PUBLIC NOTIFICATION

n/a

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Office/Buffer Area (S-OFF). Areas include a mixture of office, light commercial uses and various housing types including duplexes, small-scale multi-family, single-family-attached homes, and single-family detached homes. The districts typically represent areas in transition from single-family residential to more intensive uses or areas which office and limited commercial is most appropriate. **Within these transitional areas, a great deal of care is warranted in order to balance the pressure to allow more productive uses with the need to protect existing property owners.**

MASTER STREET PLAN

The subject properties are located on E Kiehl Ave with ~254.34' of direct frontage. Lot 11R has ~136.34' of frontage on Fairview Avenue to the east and Lot 1R containing ~98.66' of frontage on Park Avenue to the west.

E Kiehl Avenue

Minor Arterial (80' ROW)

STAFF REPORT

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SHERWOOD 

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Fairview Avenue: Local (50' ROW)
Park Avenue: Local (50' ROW)

STAFF ANALYSIS

1. Scaled site plan, including:
 - a. Graphic scale. **Provided**
 - b. Proposed lot lines. **Provided**
 - c. Existing and proposed vehicular and pedestrian circulation systems including streets, alleys, walkways, service areas and loading areas, the location and arrangement of off-street parking areas and all points of vehicular ingress and egress.
 - i. *Applicant indicates a single point of ingress/egress to access the commercial subdivision utilizing the existing driveway on E Kiehl Ave.*
 - ii. *Applicant must execute a shared access and parking agreement between Lots 1R and 11R, as required prior to issuance of a building permit. Acknowledged by applicant.*
 - iii. *An approved fire apparatus turnaround or secondary point of ingress/egress is not provided. Adequate turnaround must be provided in accordance with AFPC Appendix D Section 103.4. Not addressed; applicant must indicate fire apparatus turnaround on the site plan [see #5.g.].*
#TURN AROUND MANUVERABILITY IS PROVIDED
 1. *Based on reconfiguration of the lots, additional hydrant placement is likely required. Indicate location of existing fire hydrant(s). Addressed; Fire Marshal determined adequate fire hydrant is placement within 400' of the proposed commercial subdivision.*
 - iv. *Revise site plan to capture required sidewalk improvement on Park Ave, ensuring each individual sidewalk improvement along Park Ave and Fairview Ave meets minimum 5' sidewalk required.*
 1. *Will the power pole and AT&T box on Fairview Ave need to be relocated to accommodate the new sidewalk? Addressed; additional action required. Applicant relocated Fairview Ave sidewalk improvement to mitigate conflict with existing utility. Relocation of the sidewalk improvement within bounds of Lot 11R [private property] must be captured in an easement. #CAPTURED IN REVISED PLAN*
 2. *Replat approved November 10, 2025 must be revised capture sidewalk easement on Lot 11R if desired location is retained for the required improvement. #EASEMENT WILL BE SHOWN IN THE FINAL PLAT*
 - v. *Revise site plan to indicate a stub out turnaround in the main parking area to allow vehicles parking in the easternmost parking spaces to backout. Captured on site plan; applicant must dimension stub out turnaround. #DIMENSIONS ARE SHOWN FOR STURBOUT TURNAROUND.*
 - d. Proposed perimeter treatment of the property, indicating screening materials to be used including fences, walls, and plant materials together with a description of uses, setbacks and their proposed relationship to surrounding areas.
 - i. *Indicate building setbacks for C-2 zoning district on both lots to all property lines. Addressed*
 1. *Applicant has submitted a variance request to reduce the front yard setback across Lot 1R and Lot 11R concurrently with site plan review. Site plan as submitted indicates the reduced front yard setback on Lot 1R and Lot 11R, as requested.*
 - ii. *Fencing cannot extend past the front building line, nor beyond the side yard setback on corner lots per §14.16.08.A., however the Enforcement Officer may allow deviation to location and height requirements in accordance with §14.10.02.B.b.1.*
 1. *Indicate existing driveway south of Lot 1R (serving residence at 8218 Park Ave) on site plan to determine no deviation from site triangle requirements is created by the proposed 6' opaque fence*

STAFF REPORT**Application Type:** Site Plan Review**Application:** SPL.202601.Lot 1R and 11R, Blk 2 Carroll Heights Sub**SHERWOOD** **Planning Commission Meeting:** 1/13/2026

terminating at the property line in accordance with §14.10.13. Applicant revised site plan to indicate termination of 6' opaque fencing at the 25' building line adjacent to Park Ave [See 1.e.i.1.b].

2. *Indicate existing driveway south of Lot 11R (serving residence at 8217 Fairview Ave) on site plan to determine if obstruction is created by location of the proposed retaining wall in accordance with §14.10.13. Addressed; site plan revised to avoid possible obstructed view of the adjacent residential use existing to Fairview Ave.*

e. Schematic landscape plan showing proposed treatment of the areas designated as either buffers or private common open space. – **proposed landscaping plan [captured on site plan] is insufficient; applicant must provide a separate landscape plan.** #SEPARATE LANDSCAPE PLAN IS PROVIDED

- i. Revise site plan to include all required perimeter, vehicular access, and buffering/screening requirements; dimension all landscape strips as required by Zoning Code §14.16.
 1. *6' landscape strip is required between vehicular use areas, property lines and between ROW; dimension all landscape areas indicated on site plan in accordance with §14.16.06. Action required*
 - i. *A minimum of 1 tree every 30 linear feet and 1 shrub every 5 linear feet is required, in addition to appropriate ground covers, grasses, etc.*
 - b. *Revise site plan to indicate continuation of the 6' landscape strip required to the west along the entirety of the south property line of Lot 1R. Not addressed; revise plan to show continuation of a 6' landscape strip the entirety of the south property line to the west property line boundary on Lot 1R. Dense evergreen shrubbery must be provided.* # 6' LANDSCAPING STRIP AND DENSE EVERGREEN SHRUBBERY IS PROVIDED ENTIRELY OF THE SOUTH PROPERTY LINE, EXCEPT THE SECORNER WHERE AN EXCEPTION IS REQUESTED AND JUSTIFICATION IS PROVIDED.
 2. *Site plan indicates the required 6' landscape strip/distance from R-1 property cannot be met at the SE corner of the Lot 11R. Not addressed; applicant indicates the full 10'-7" to 5'-4" are on Lot 11R is landscape strip, however the area is inclusive of the proposed fence and retaining wall.*
 - a. *If minimum landscape area requirements cannot be met, applicant must request an exception and provide justification to be reviewed by the Planning Commission per §14.16.09.E.* # AN EXCEPTION IS REQUESTED AND JUSTIFICATION IS PROVIDED IN THE LETTER
 - ii. *At minimum 5% of the interior of vehicular use area is required to be landscaped, e.g., planters/islands surrounded by concrete curb with no less than 80sf or based on percentage calculation of vehicular use area. There must be a minimum of 1 tree in each planter/island. See below.* # 3 ISLANDS PROVIDED IN REVISED PLAN.
 1. *Note: 1 large planter containing all 5% of the required area is not permitted. Revisions required.*
 2. *Note: permitter landscaping provided for screening vehicle use areas does not constitute part of the interior landscape area coverage requirements. Revisions required; perimeter landscape treatments cannot be used to satisfy vehicular use area landscaping requirements.* #PREMETER LANDSCAPING ARE NOT INCLUDED WITHIN THE 5% INTERIOR VEHICULAR LANSDCAPING.
 - iii. *Provide a legend for proposed plantings to include type, species, and quantity of each proposed plant material in accordance with requested revisions. Partially addressed; applicant must indicate the quantity of each proposed plant material in the provided legend.* #INDICATED
 - iv. *Plantings proposed where C-2 property abuts R-1 shall be such to reach a minimum height of 6' within 3 years [for vehicular use areas §14.16.08.B] and shall be dense evergreen shrubbery screen to reach a minimum height of 8' and thickness of 5' within 5 years [for non-vehicular uses areas §14.16.08.E].*
 - v. *Indicate on landscape plan that all plantings shall be served by automatic irrigation, §14.16.06.D. Irrigation not addressed; separate, revised landscape plan not provided.* #NOTE ADDED ON LANDSCAPE PLAN.
 - vi. *Dumpster location was previously discussed to be closer or attached to the proposed restaurant on Lot 1R to achieve greater separation distance from abutting residual properties.*

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1. Provide proposed materials for dumpster enclosure and indicate elevations on site plan, §14.16.08.C.
Not addressed; applicant indicates enclosure materials and elevations are provided but do not appear to be captured in revisions submitted 12/29/2025. #SPOT ELEVATIONS PROVIDED AROUND DUMPSTER.
2. See #5.g. #TURN AROUND MANUVERABILITY IS PROVIDED
- f. Location and dimension of all existing and proposed utility drainage, and street easements within the site.
Add additional easements and label easements by their intended use. Addressed
- g. Proposed location of structures and structural dimensions, dimension distances between buildings, distances from structures to property lines, and building materials. **See below**
 - i. Add all dimensions from building(s) to all property lines for Lot 1R and 11R. **Partially addressed;** applicant must indicate setback from both proposed new constructions on Lot 1R and Lot 11R to all property lines. ALL SETBACK DISTANCES ARE SHOWN FOR BOTH BUILDING.
 - ii. Provide architectural elevations and listing of proposed exterior building materials in accordance with Zoning Code §14.10.10, adopted by Ordinance No. 2520 (staff to provide copy of Exterior Building Design Standards upon request), as part of the new SPL application for Lot 1R and 11R. **Not provided; staff requires architectural elevations for new construction new buildings on Lot 1R and Lot 11R be submitted in accordance with § 14.10.10 of the Zoning Code. Ensure a list of exterior building materials is provided with elevations.**
2. Topographical cross section map of the site and the location of the one hundred (100) year flood elevation if involved on the parcel of land:
#ARCHITECTURAL ELEVATIONS ARE PROVIDED FOR RESTAURANT. ARCHITECT IS STILL UPDATING THE PLAN FOR OFFICE BUILDING. AND WILL BE PROVIDED UPON COMPLETION.
#LOT 11R- BRICK VENEER, WOOD COLUMN, WOOD SIDING, METAL ROOF
#LOT 1 R- METAL BUILDING
3. Quantitative data including the following:
 - a. Parcel size—add acreage to Lot 1R and 11R. **Addressed; acreage for each lot indicated on site plan.**
 - b. Proposed floor area of principal and accessory buildings. **Addressed; applicant indicates new construction of 2,000sf for a HVAC use on Lot 1R and new construction of a 2,662sf a restaurant on Lot 11R.**
 - c. Proposed number of parking spaces.
 - i. Applicant indicates patron seating (58) + 6 employees', a minimum of 21 parking spaces is required for the restaurant proposed on Lot 11R. **Not addressed; How was this figured? Fixed seating or sf of proposed structure? Provide interior floor/seating plan used for calculation as previously submitted.** #INTERIOR FLOOR PLAN IS PROVIDED.
 - ii. To confirm minimum parking requirements for Lot 1R the applicant must provide detailed description of proposed use.
 1. Use of "Office Equipment Sales and Service" is indicated for Lot 1R with a minimum parking requirement of 5 spaces. **Detailed description of SubZero HVAC, as indicated in the application has not been provided.** #DETAILED DESCRIPTION IS PROVIDED IN THE LETTER.
 - ii. Provide a general note indicating all parking space dimensions are consistent with the 1 dimensioned space indicating typical parking space dimension of 20'x9'. **Addressed; applicant provided General Note #13 to satisfy staff comment.**
4. Engineering:
 - a. Provide runoff calculations/pre- and post-drainage report. **Not provided; city consulting engineer requires a complete and accurate grading and drainage plan for the site to determine the feasibility of the concept at this location given challenges presented by the lot and existing terrain.** #Grading plan and drainage report provided.
 - b. What is the plan to capture runoff leaving the parking area at the SE corner of Lot 11R near the proposed retaining wall? **City consulting engineer requires additional information for the proposed drainage structure at the SE corner of Lot 11R; applicant indicates runoff at this point will be directed to Fairview Ave.**
 - i. How much water does the proposed drainage structure carry in a 10-year storm? #Max. Capacity 6.3 CFS

STAFF REPORT

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 SHERWOOD

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- ii. **How much water is proposed to be dumped out at this location onto Fairview Ave during a 10-year storm?** #0.37 Acres will be drained towards Fairview Ave though the structure, which will dump 1.9 CFS onto Fairview during a 10-years storm.
- c. **How will the site be graded where impact or cross over to adjoining property does not occur?**
 - i. **City consulting engineer requires a grading plan that captures the NE corner of Lot 11R be provided [where the new sidewalk improvement maneuvers around existing utilities]. Will the sidewalk improvement meet ADA?** #Grading plan updated
#No, It will follow the existing street with max. 2 % cross slope
 - ii. **NW corner of the new construction on Lot 1R details a ±20% grade from E Kiehl Avenue to the NW corner of the structure (contours 333, 332, 331, 330). It is likely the proposed design will pose drainage issues.** #Swale is provided to avoid drainage issue
#No, the new sidewalk will follow existing grade and existing street with a max 2% cross slope.
 - 1. **Sidewalk improvement indicates a ±20% cross slope. Will this meet ADA?**
- d. **Provide engineering plans for the proposed retaining walls. Not provided; applicant indicates retaining wall detail will be provided upon design.** #WILL BE PROVIDED PROVIDED UPON DESIGN

5. Additional comments/information needed:

- a. **Indicate site lighting on plan including location and fixture type. Not addressed; applicant must indicate on site plan the type and location of lighting fixture(s) proposed on site for staff review.** # LIGHTING PLAN WILL BE PROVIDED FOR THE SITE UPON COMPLETION.
- b. **Is the intended commercial subdivision subjected to phased development? Applicants' indicate phased development is not proposed across the commercial subdivision.**
- c. **Correct street name of East Kiehl Road to East Kiehl Avenue. Ensure ROW is dimensioned from C/L of roadway to reflect that of recent ROW dedication. Addressed; ROW as presented on the site plan is accurate pending recordation of the Replat approved November 10, 2025.**
- d. **Has the Replat approved November 10, 2025 been filed with the County recorder? Applicant indicates the approved Replat will be filed with the County recorder upon finalized design of the commercial subdivision.**
- e. **Applicant must provide a detailed description of the use proposed for Lot 1R [SubZero HVAC] to ensure said use is permitted and to confirm minimum parking requirements.**
 - i. **SPL Review Note 1 indicates Lot 1R to contain an "Office Building" for "Office Equipment Sales and Services". Additional information required. Applicant needs to provide a detailed description of services offered by "SubZero HVAC" to be conducted on Lot 1R. Will there be any level of technical operation (service vehicles, equipment, chemicals etc.) or only office space?** #ADDITIONAL INFORMATION PROVIDED IN RESPONSE LETTER
- f. **Intent of the staff recommendation to request a variance concurrently with the site plan application for a reduced front yard setback was to promote a more uniform development pattern consistent with the existing structure on Lot 1R and the proposed improvements on Lot 11R along this portion of the E. Kiehl Ave corridor. The recommendation was not intended to provide the applicant with an opportunity to redevelop Lot 1R in a manner that would allow construction of a new building substantially larger or deeper than what would otherwise be permitted under the required 40' front yard setback. Applicant reduced the proposed new construction on Lot 1R from 3,000sf to 2,000sf.**
- g. **Provide auto-turn document to indicate trash collection and fire truck access and maneuverability on site.** #PROVIDED
- h. **Note: this site plan has been reviewed for compliance with the minimum site requirements applicable to the proposed new construction development on Lot 1R and Lot 11R. Approval of this site plan does not grant or imply authorization for any specific business use or right to operate at this location.** #ACKNOWLEDGED

Waivers requested: No waivers requested

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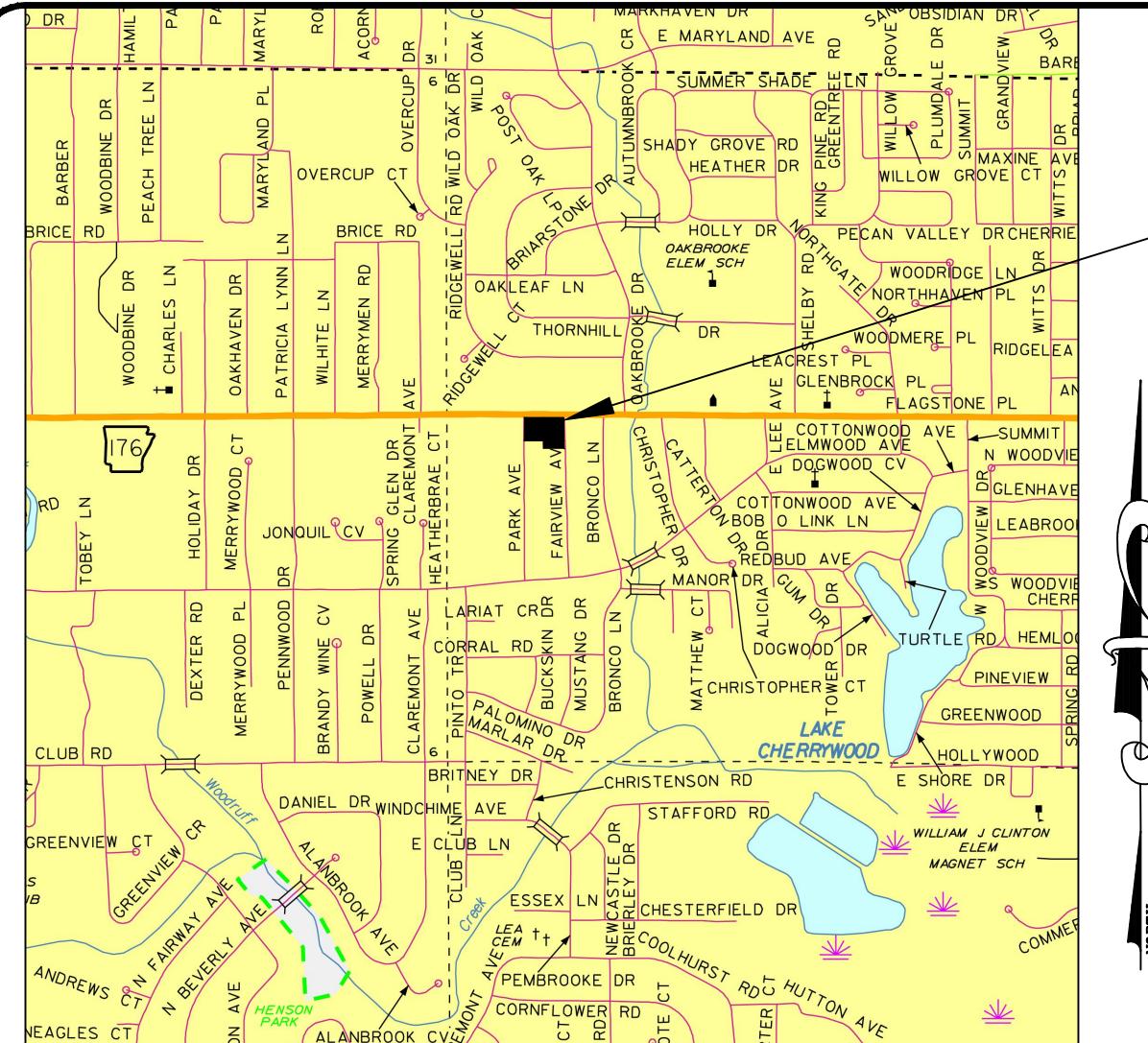


Planning Commission Meeting: 1/13/2026

Variances requested: Variance requested to reduce the required 40' front yard setback across Lots 1R and 11R.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission consider tabling the site plan to allow the applicant additional time to address the comments outlined in the staff analysis and make comprehensive revisions to the site plan.



VICINITY MAP

LEGEND

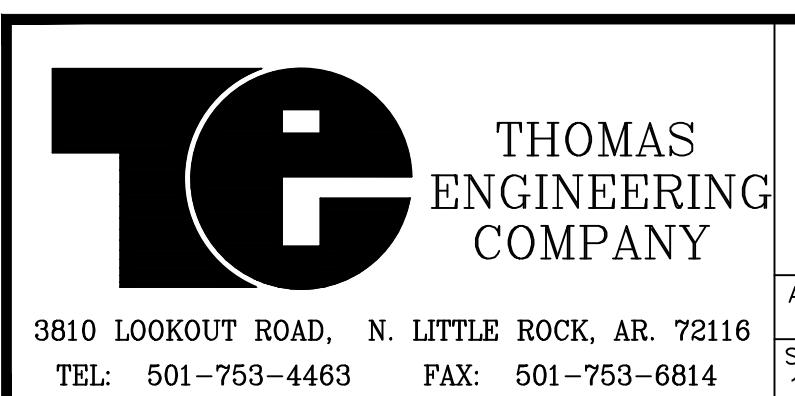
- PROPERTY LINE
- BUILDING LINE
- EASEMENT
- SANITARY SEWER LINE
- OVERHEAD ELECTRIC LINE
- WATER LINE
- STORM DRAIN LINE
- FENCE - CHAIN LINK
- FENCE - DECORATIVE IRON
- LIGHT POLE
- UTILITY POLE & GUY
- SANITARY SEWER MANHOLE
- FOUND SURVEY MARKER AS DESCRIBED
- CALCULATED POINT
- MAILBOX
- WATER VALVE
- FIRE HYDRANT
- ROOF DRAIN
- BOLLARD
- ELECTRIC BOX
- DRAINAGE BOX AS DESCRIBED
- TELEPHONE MH/PULLBOX
- WATER METER
- SIGN
- GAS METER
- TRAFFIC SIGNAL POLE
- SHOWS CONCRETE SIDEWALK
- SHOWS STANDARD DUTY CONCRETE PAVEMENT
- SHOWS STANDARD DUTY ASPHALT PAVEMENT

PARKING REQUIREMENT:
 LOT 1R - OFFICE EQUIPMENT SALES AND SERVICE: 5
 LOT 11R - RESTAURANT (58 CUSTOMERS AND 6 EMPLOYEES): 21
 TOTAL PARKING REQUIRED: 26
 TOTAL PARKING PROVIDED: 28

LEGAL DESCRIPTION
 LOT 1 & 11, BLOCK 2
 CARROLL HEIGHTS SUBDIVISION
 SHERWOOD, ARKANSAS

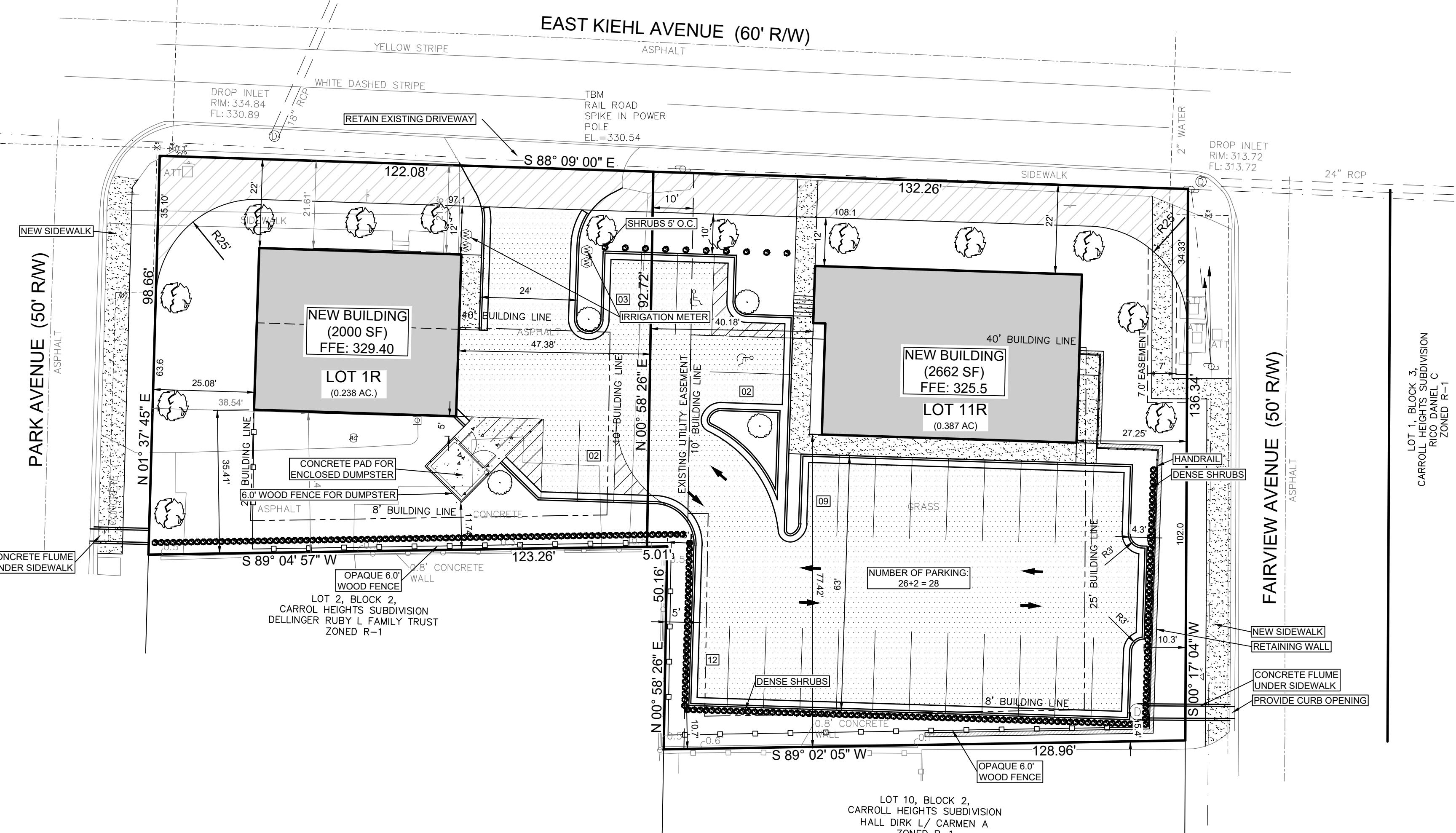
FOR USE AND BENEFIT OF:
 LIE KIANHO MCADAMS/AUSTIN
 MCADAMS/JUDITH/WILLIAM MCADAMS
 8924 STILLWATER ROAD
 SHERWOOD, AR 72120

PRELIMINARY PLAN -
 NOT FOR CONSTRUCTION



SITE PLAN REVIEW
 LOTS 1 & 11, BLOCK 2
 CARROLL HEIGHTS SUBDIVISION
 CITY OF SHERWOOD,
 PULASKI COUNTY, ARKANSAS

APPROVED	DRAWN BY	DATE	SHEET NO.
SCALE 1" = 20'	MNH	01.12.2026	3

SITE & GRADING PLAN
GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

2. WARRANTY/DISCLAIMER. THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED AT THIS TIME. HOWEVER, NEITHER THOMAS ENGINEERING COMPANY NOR ITS PERSONNEL CAN OR DO WARRANT THESE PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THOMAS ENGINEERING COMPANY PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

3. SAFETY NOTICE TO CONTRACTOR. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEER OR OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

4. ALL SLOPES TO BE GRADED TO 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THIS SHEET.

5. SEE ARCHITECTURAL PLANS FOR DETAILS ON CONCRETE RAMPS AND SIDEWALKS ATTACHED TO BUILDINGS.

6. ALL STORM DRAIN LINES AND UTILITY LINES UNDER THE PAVEMENT SHALL BE BACK FILLED WITH CRUSHED STONE.

7. ENGINEER'S NOTICE TO CONTRACTOR. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN.

8. FINISHED GRADE CONTOURS ARE INDICATED ALONG TOP OF COMPLETED STRUCTURES, TOP OF PAVEMENT AND GUTTER LINE OF CURB, UNLESS OTHERWISE SHOWN. FOR ROUGH GRADING, CONTRACTOR SHALL ALLOW FOR DEPTHS OF TOPSOIL AND CONCRETE STRUCTURES. FOR FINISH GRADING, CONTRACTOR SHALL INSTALL TOPSOIL AND CONCRETE STRUCTURES TO FINISHED GRADE AS INDICATED ON THIS SHEET.

9. GRADE TO DRAIN AWAY FROM BUILDING AT MINIMUM 1% SLOPE.

10. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III.

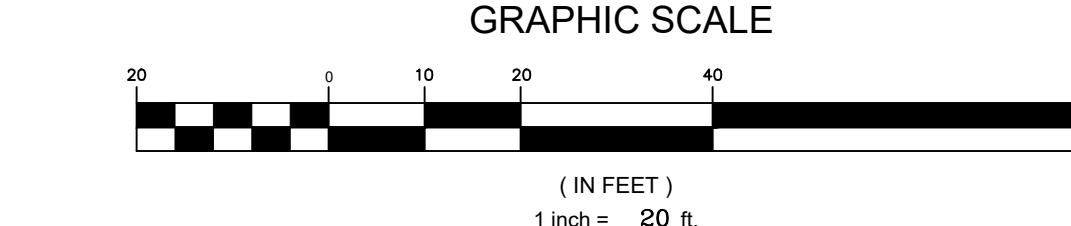
11. ALL DIMENSIONS ARE SHOWN TO THE BACK OF CURB.

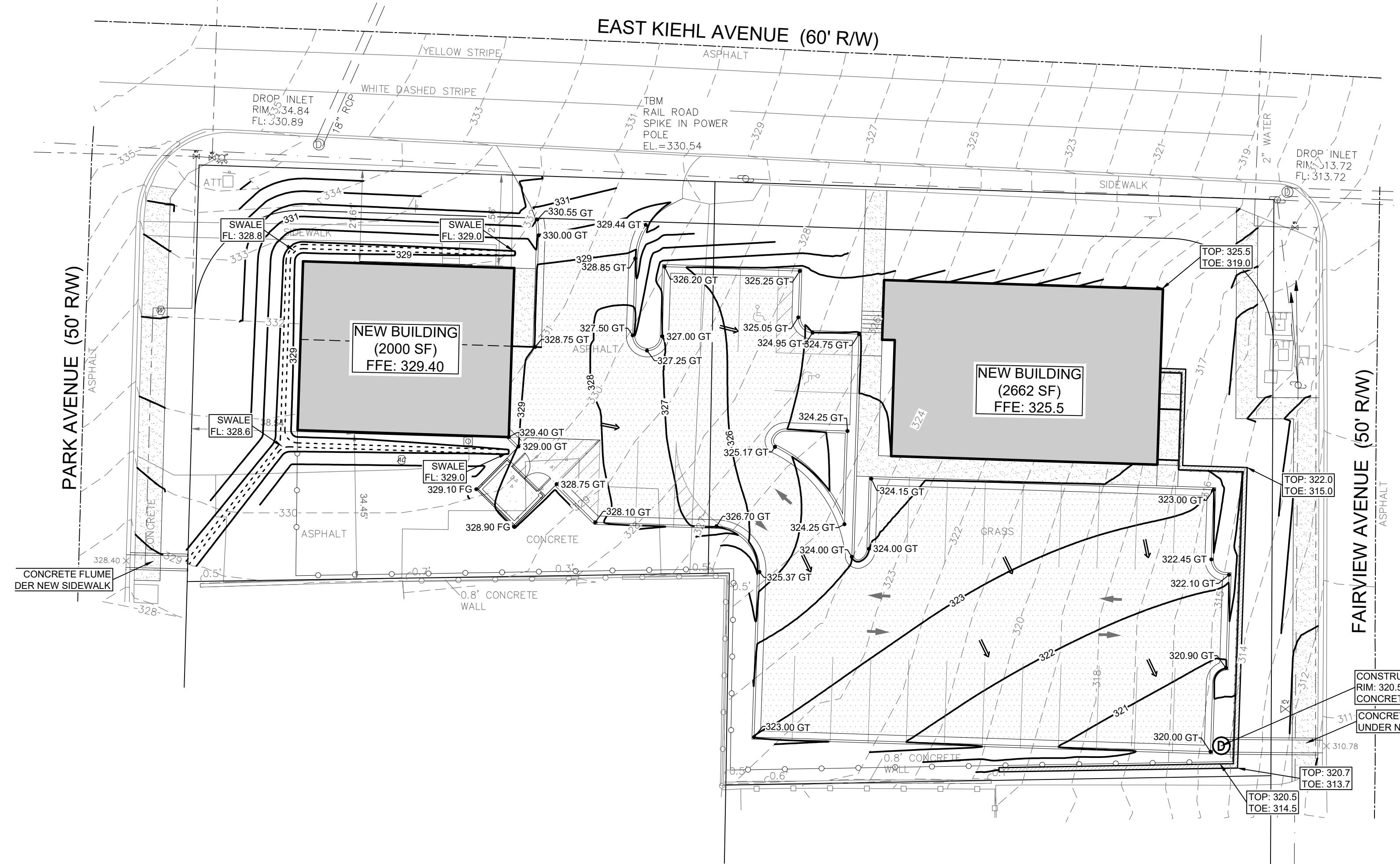
12. DRIVEWAY SHOULD BE CONSTRUCTED IN ACCORDANCE WITH ARDOT DETAIL DR-1.

13. ALL PARKING SPACE DIMENSIONS WILL BE CONSISTENT IN SIZE (20'X9').

SITE PLAN REVIEW NOTES

1. SITE CONTAINS A PROPOSED OFFICE BUILDING AND A RESTAURANT.
2. BASIS OF BEARINGS: PAGES
3. THE PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 05119C0354G DATED JULY 6, 2015.
4. THIS PROPERTY IS ZONED C-2
5. LOT 1R CONTAINS 0.238 ACRES, MORE OR LESS & LOT 11R CONTAINS 0.387 ACRES, MORE OR LESS.
6. SETBACKS SHOWN FOR THIS LOT:
 40' FRONT (VARIANCE REQUESTED)
 10' (25' WHEN ABUTTING STREET)
 8' REAR
7. BUILDING COVERAGE FOR LOT 1R IS 18.8%.
 BUILDING COVERAGE FOR LOT 11R IS 15.8%.





SITE & GRADING PLAN GENERAL NOTES

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2. WARRANTY/DISCLAIMER
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4. ALL SLOPES TO BE GRADED TO 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THIS SHEET.
5. SEE ARCHITECTURAL PLANS FOR DETAILS ON CONCRETE RAMPS AND SIDEWALKS ATTACHED TO BUILDINGS.
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8. FINISHED GRADE CONTOURS ARE INDICATED ALONG TOP OF COMPLETED STRUCTURES, TOP OF PAVEMENT AND GUTTER LINE OF CURB, UNLESS OTHERWISE SHOWN. FOR ROUGH GRADING, CONTRACTOR SHALL ALLOW FOR DEPTHS OF TOPSOIL AND CONCRETE STRUCTURES. FOR FINISH GRADING, CONTRACTOR SHALL INSTALL TOPSOIL AND CONCRETE STRUCTURES TO FINISHED GRADE AS INDICATED ON THIS SHEET.
9. GRADE TO DRAIN AWAY FROM BUILDING AT MINIMUM 1% SLOPE.
10. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III.
11. ALL DIMENSIONS ARE SHOWN TO THE BACK OF CURB.

LEGEND

— — — — 100 — — — —	EXISTING CONTOURS
— — — — 101 — — — —	
101 — — — —	PROPOSED CONTOURS
497.75 GT 	PROPOSED SPOT ELEVATION GUTTER
497.75 FG 	PROPOSED SPOT ELEVATION FINISHED GRADE
497.75 	EXISTING SPOT ELEVATION
	DRAINAGE ARROW

NOTE: SPOT ELEVATIONS FINISHED GRADE UNLESS OTHERWISE SHOWN.

PRELIMINARY PLAN - NOT FOR CONSTRUCTION



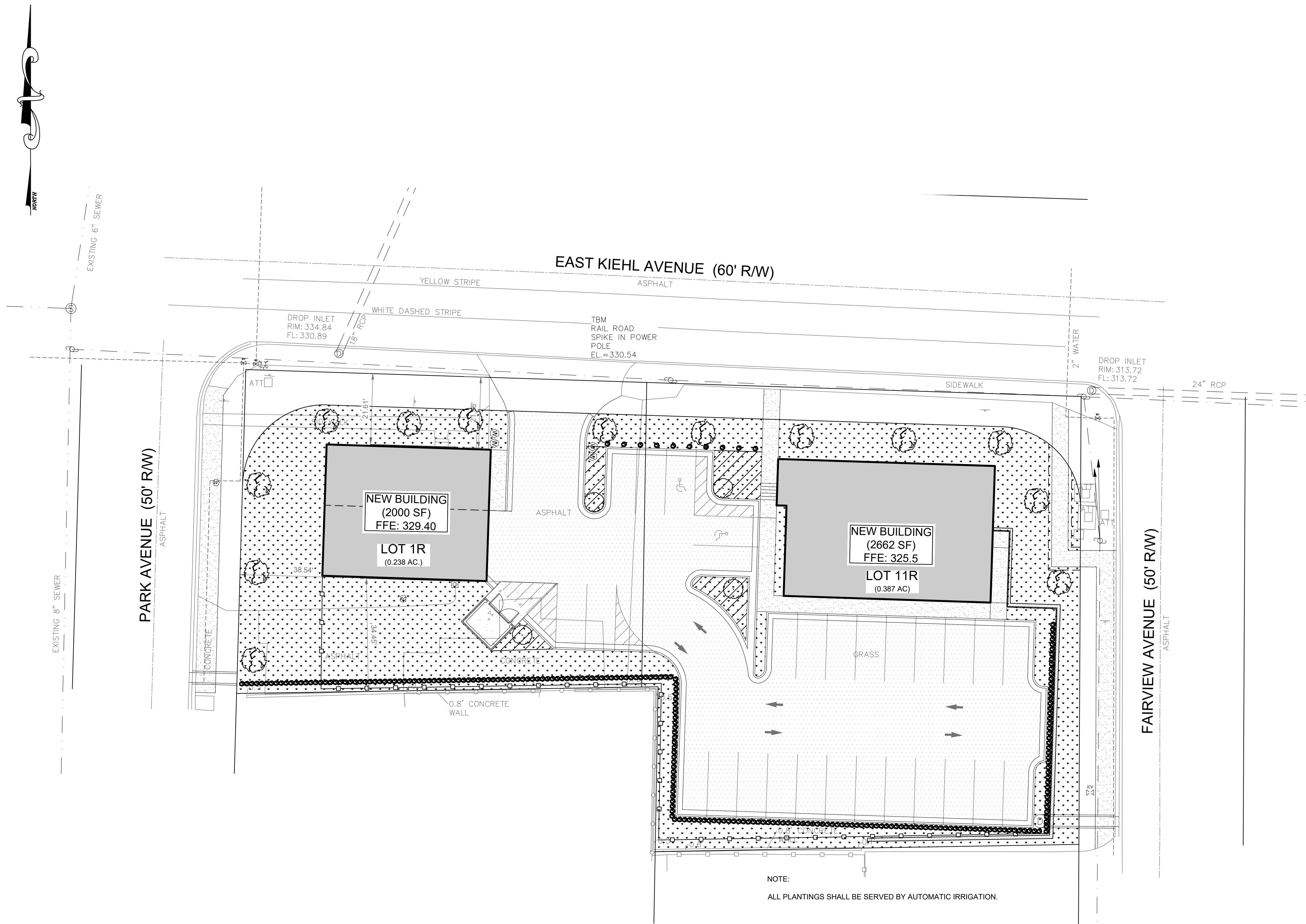
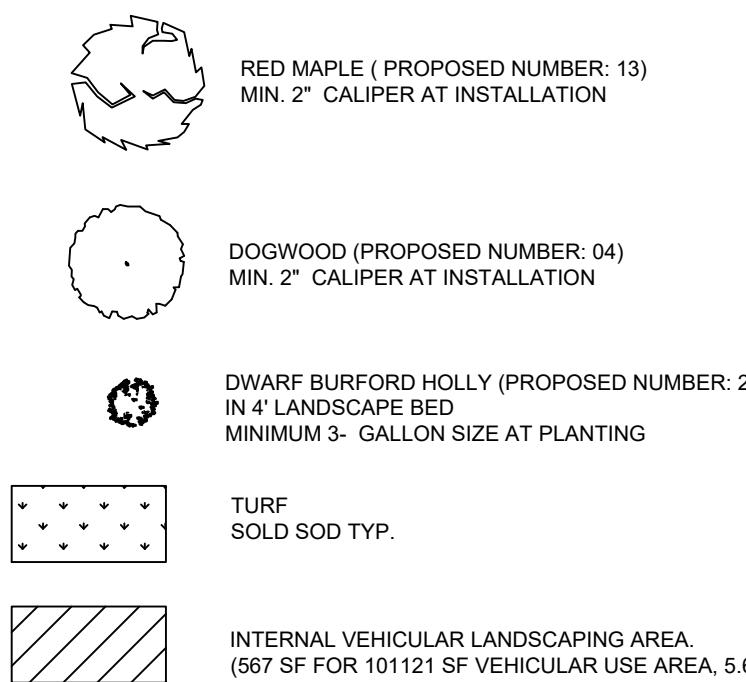
THOMAS
ENGINEERING
COMPANY

GRADING PLAN
LOTS 1 & 11, BLOCK 2
CARROLL HEIGHTS SUBDIVISION
CITY OF SHERWOOD,
PULASKI COUNTY, ARKANSAS

APPROVED	DRAWN BY MNH	DATE 01.12.2026	SHEET NO. 4
SCALE 1" = 20'			

(IN FEET)

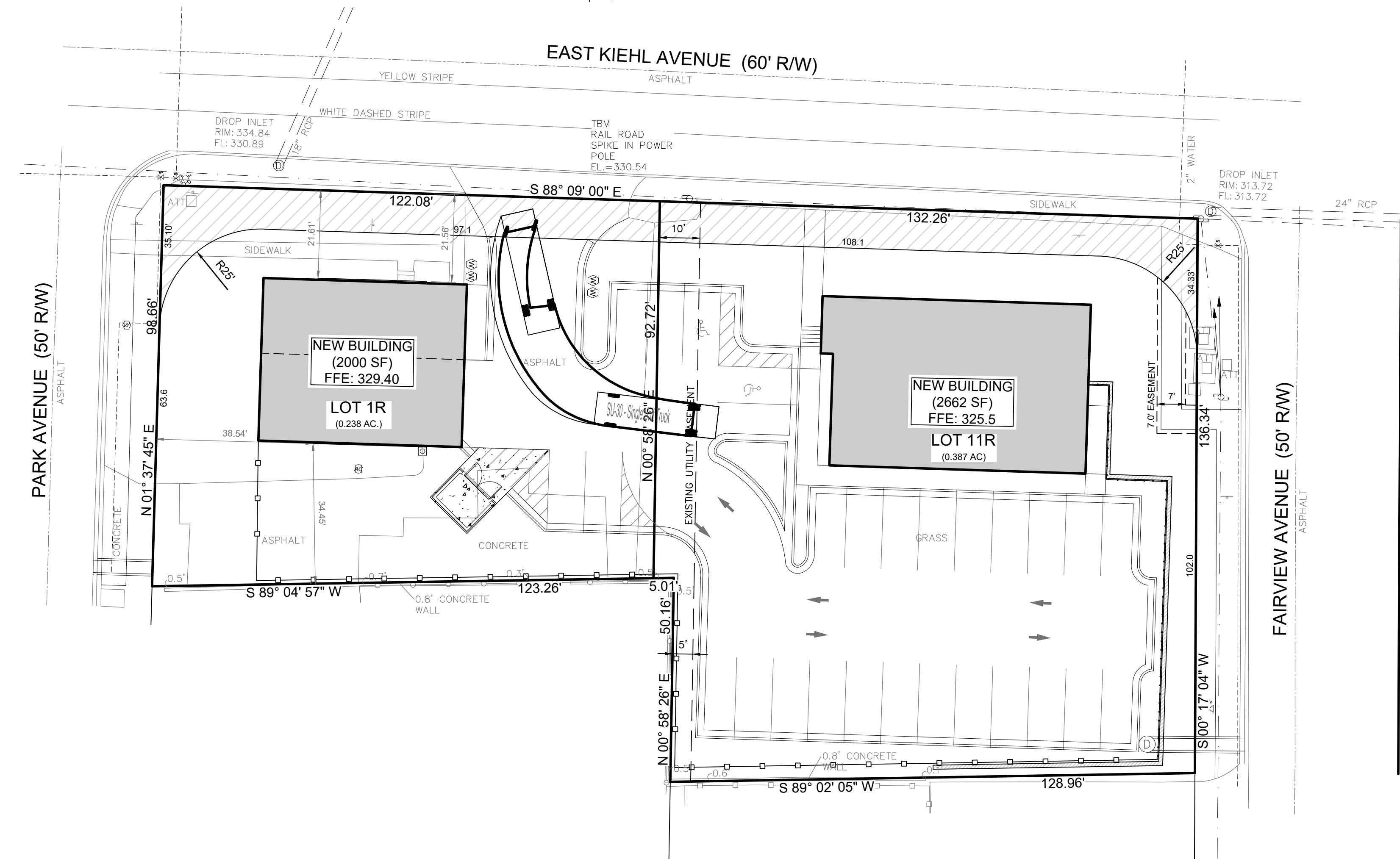
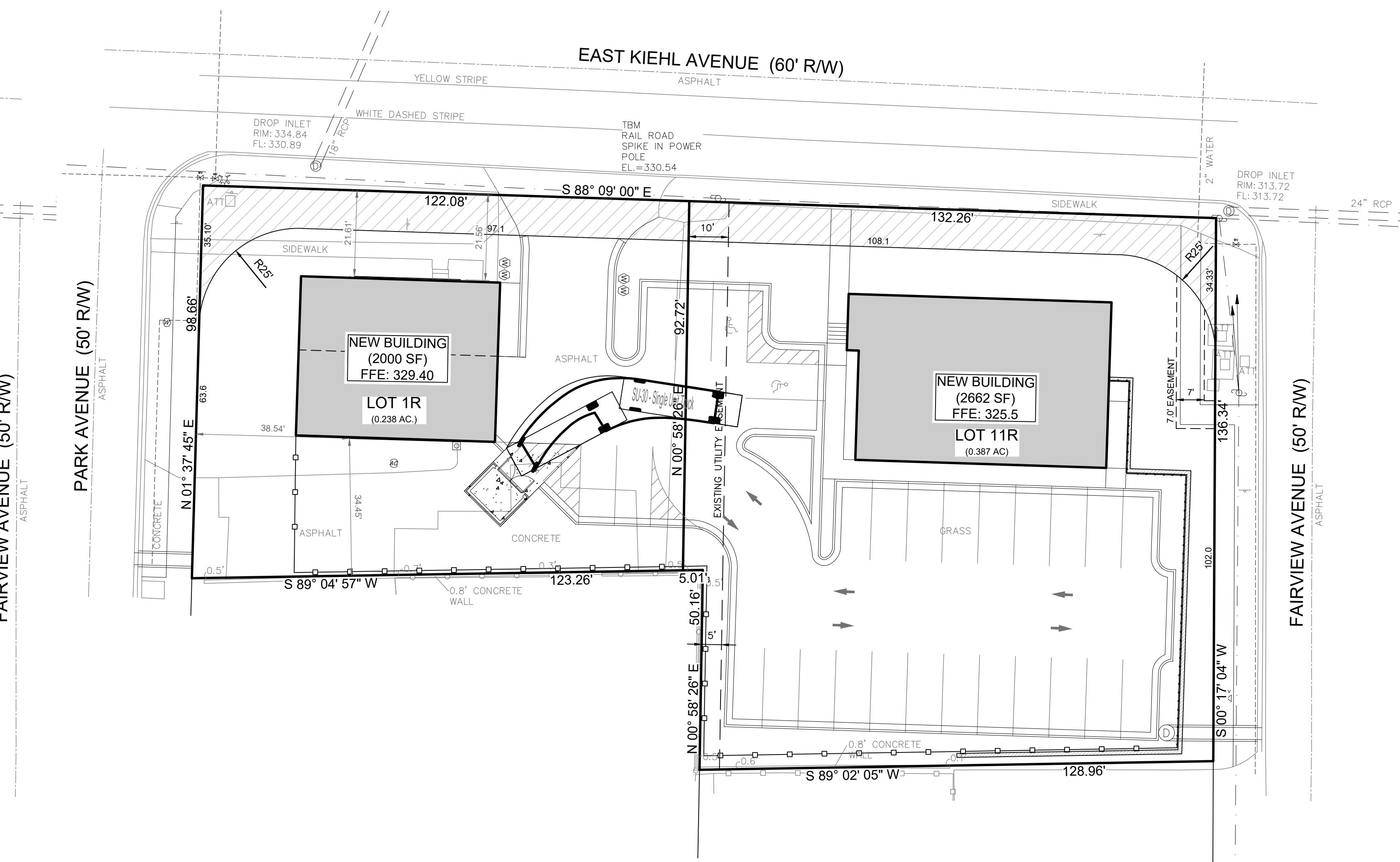
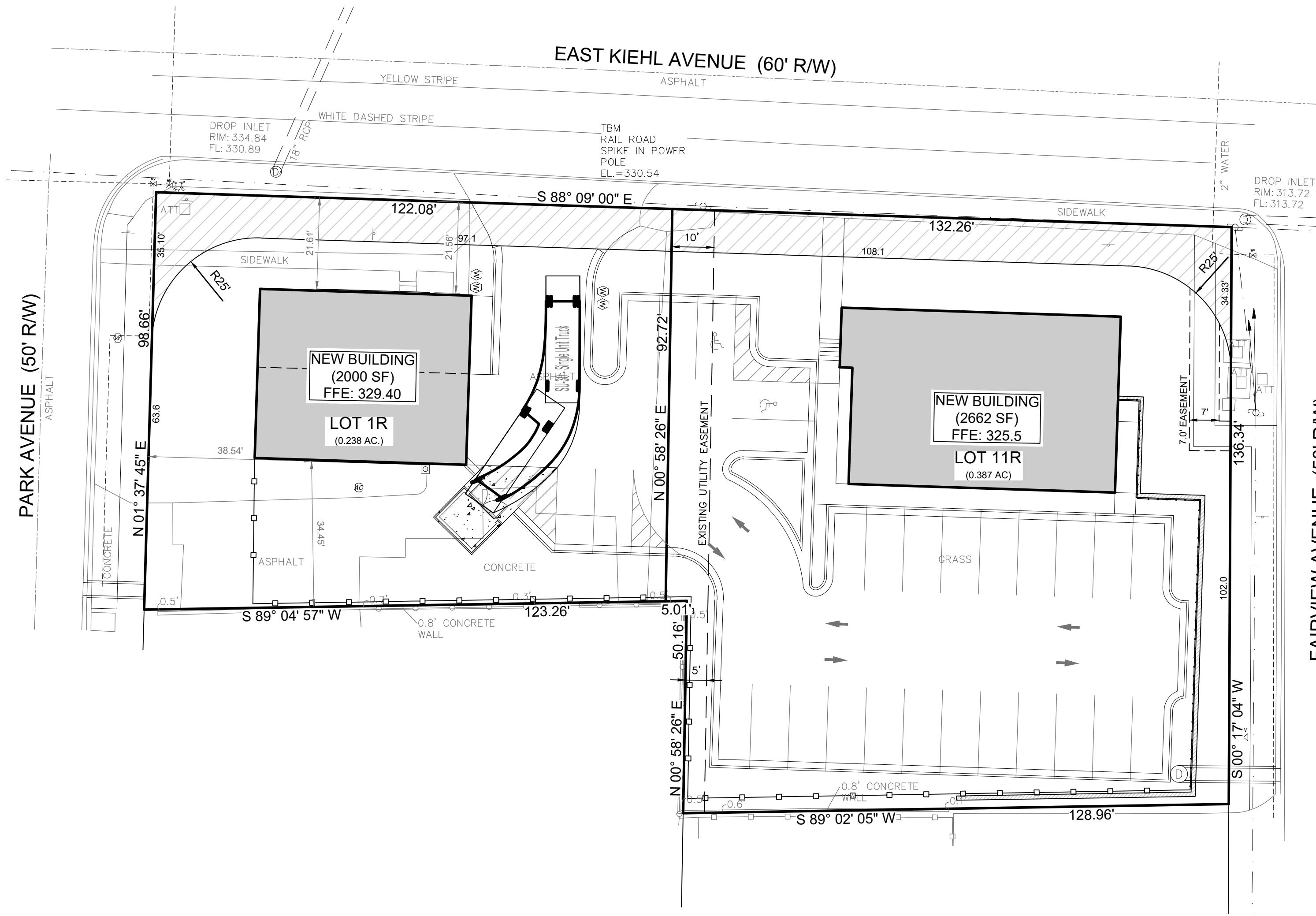
1 inch = 20 ft

LEGENDLANDSCAPE NOTES:

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL NEW LANDSCAPE AREAS AND SHALL PROVIDE 100% FULL COVERAGE.
2. TREE AND SHRUB SPECIES LISTED MAY BE SUBSTITUTED IF PREVIOUSLY APPROVED BY THE CITY OF SHERWOOD AND LISTED AS ACCEPTABLE IN LANDSCAPING ORDINANCE.
3. IT IS THE INTENTION OF THIS PLAN TO FOLLOW THE LANDSCAPE ORDINANCE.
4. VEGETATION COVERAGE IS 33.4%.

PRELIMINARY PLAN -
NOT FOR CONSTRUCTION

LANDSCAPE PLAN			SHEET NO.		
APPROVED	DRAWN BY	DATE	SCALE	MAN	01.12.2026
			1" = 20'		5



THOMAS
ENGINEERING
COMPANY

**SITE MANEUVERABILITY
LOTS 1 & 11, BLOCK 2
CARROLL HEIGHTS SUBDIVISION
CITY OF SHERWOOD,
PULASKI COUNTY, ARKANSAS**

3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463 FAX: 501-753-6814

DRAWN BY
MNH

DATE
01.08.202

SHEET NO.
E1

1. *What is the primary purpose of the study?*

(IN FEET)
1 inch = 20 ft.

DRAINAGE ANALYSIS

For:

LOT 1R AND 11R CARROLL HEIGHTS SUBDIVISION

**1800 E KIEHL AVENUE
SHERWOOD, AR 72120**

JANUARY 09, 2026

Prepared by: Nazmul Hassan, PE

Thomas Engineering Company

3810 Lookout Road
North Little Rock,
AR 72211
Phone (501) 753-4463

CARROLL HEIGHTS DRAINAGE CALCULATION

PRE AND POST RUNOFF CALCULATION FOR 10 YEARS

Design Parameters

Project Area = 0.625 Acres

Area Under Development = 0.625 Acres

Design Period = 10 Years

Pre-development Runoff Coefficient

<i>Land Use Type</i>	<i>Area (Acres)</i>	<i>Runoff Coefficients</i>
Building	0.025	0.90
Concrete	0.051	0.90
Asphalt	0.11	0.90
Grass	0.44	0.30
Combined	0.625	0.48

Pre-development Runoff Coefficient, $C_p = 0.48$

Post-development Runoff Coefficient

<i>Land Use Type</i>	<i>Area (Acres)</i>	<i>Runoff Coefficients</i>
Building	0.11	0.90
Concrete	0.06	0.90
Asphalt	0.23	0.90
Grass	0.22	0.30
Combined	0.625	0.68

Post-development Runoff Coefficient, $C_d = 0.68$

Time of Concentration

Pre-development Time of Concentration, $T_{cp} = 5$ min. (minimum)

From Figure 2-5; Pre-development Intensity, $I_{cp} = 7.5$

Post-development Time of Concentration, $T_{cd} = 5$ min. (minimum)

From Figure 2-5; Post-development Intensity, $I_{cd} = 7.5$

Discharge

Pre-development Peak Discharge, $Q_p = C_p \times I_{cp} \times A = 0.48 \times 7.5 \times 0.625 = 2.2$ CFS

Post-development Peak Discharge, $Q_d = C_d \times I_{cd} \times A = 0.68 \times 7.5 \times 0.625 = 3.2$ CFS

PRE AND POST RUNOFF CALCULATION FOR 25 YEARS

Design Parameters

Project Area = 0.625 Acres

Area Under Development = 0.625 Acres

Design Period = 25 Years

Pre-development Runoff Coefficient

<i>Land Use Type</i>	<i>Area (Acres)</i>	<i>Runoff Coefficients</i>
Building	0.025	0.92
Concrete	0.051	0.92
Asphalt	0.11	0.92
Grass	0.44	0.33
Combined	0.625	0.50

Pre-development Runoff Coefficient, $C_p = 0.50$

Post-development Runoff Coefficient

<i>Land Use Type</i>	<i>Area (Acres)</i>	<i>Runoff Coefficients</i>
Building	0.11	0.92
Concrete	0.06	0.92
Asphalt	0.23	0.92
Grass	0.22	0.33
Combined	0.625	0.70

Post-development Runoff Coefficient, $C_d = 0.70$

Time of Concentration

Pre-development Time of Concentration, $T_{cp} = 5$ min. (minimum)

From Figure 2-5; Pre-development Intensity, $I_{cp} = 8.5$

Post-development Time of Concentration, $T_{cd} = 5$ min. (minimum)

From Figure 2-5; Post-development Intensity, $I_{cd} = 8.5$

Discharge

Pre-development Peak Discharge, $Q_p = C_p \times I_{cp} \times A = 0.50 \times 8.5 \times 0.625 = 2.6$ CFS

Post-development Peak Discharge, $Q_d = C_d \times I_{cd} \times A = 0.70 \times 8.5 \times 0.625 = 3.7$ CFS

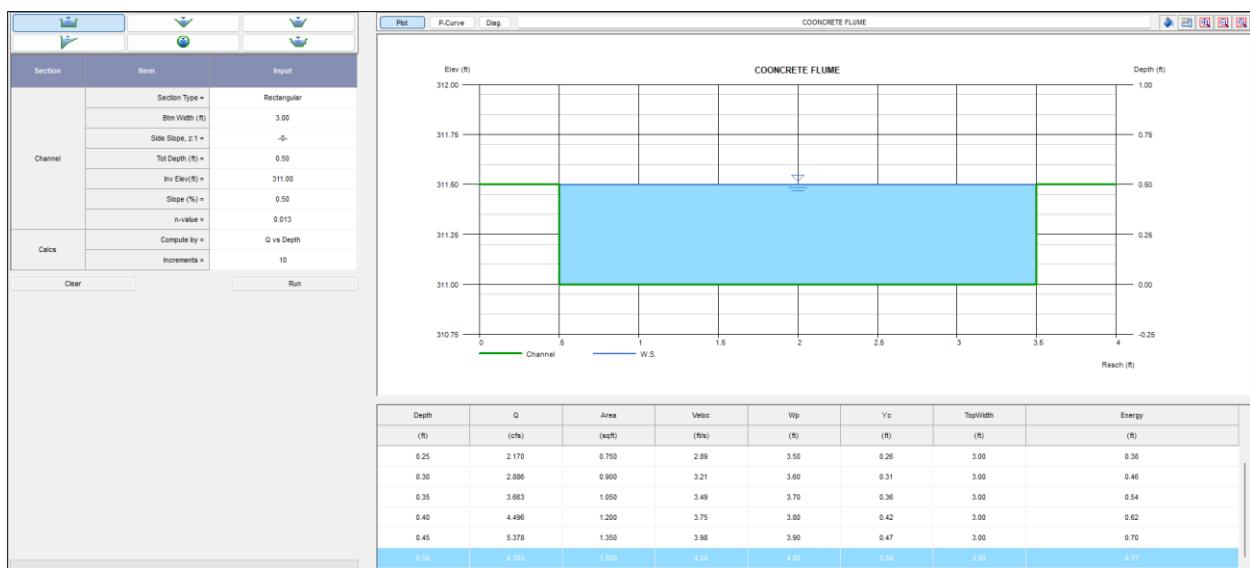
FLUME CAPACITY CHECK

Flume width= 3.0'

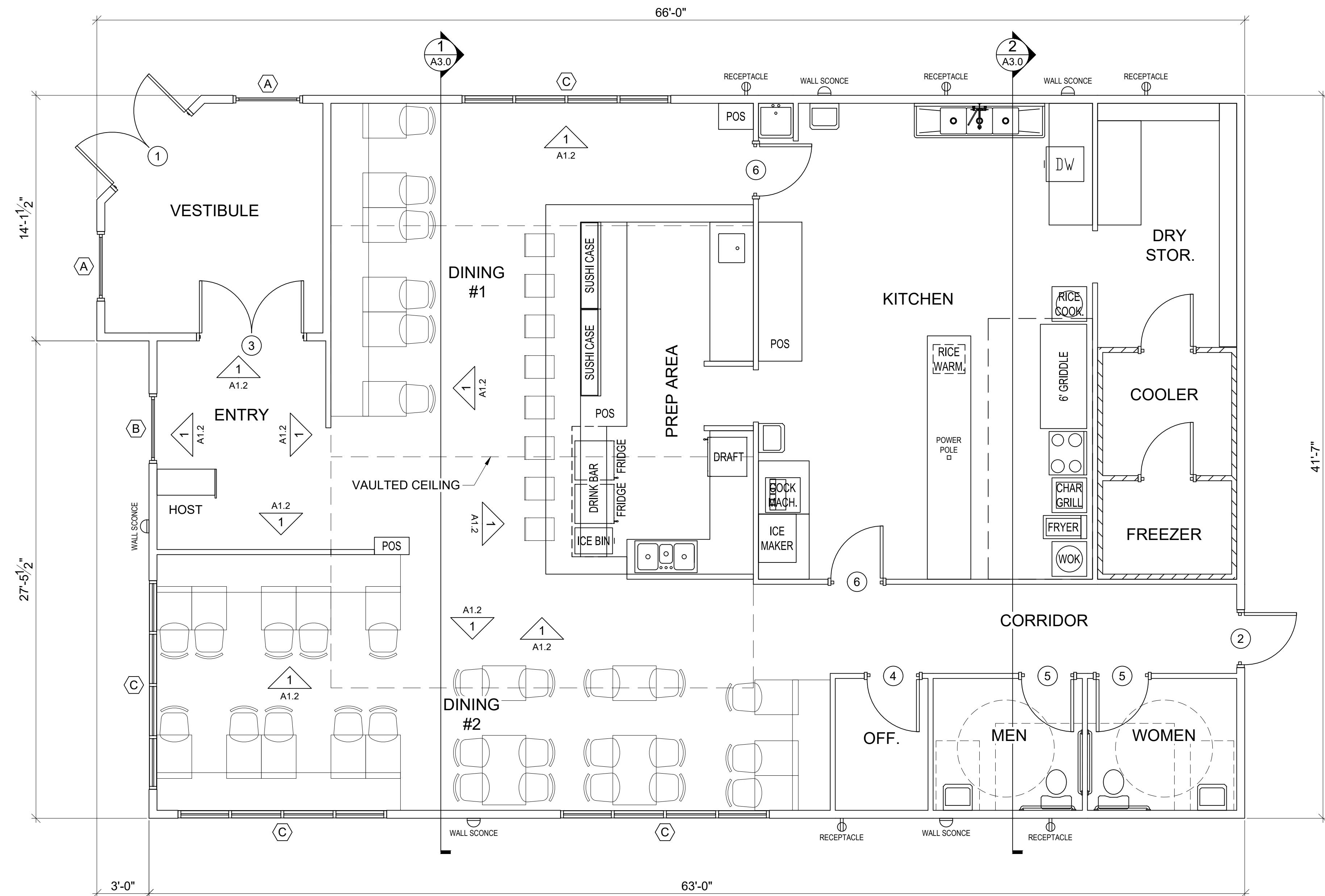
Flume depth = 0.5'

Minimum Flume Slope =0.5%

Maximum capacity of the flume @0.5% slope = 6.3 CFS

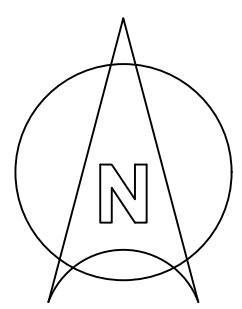


† - 2532



FLOOR PLAN

- SCALE: 1/4" = 1'-0"

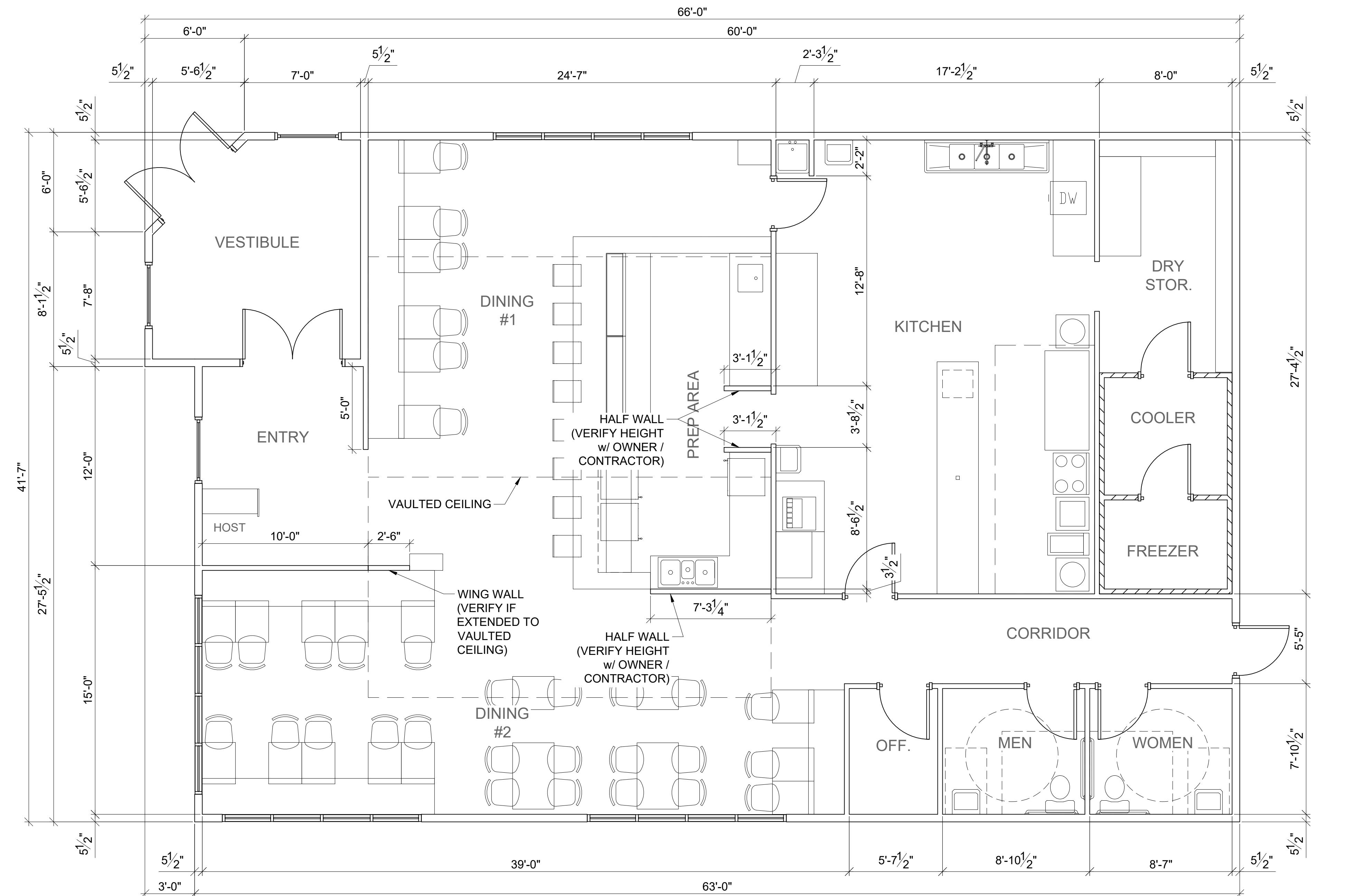


GENERAL NOTES:

1. VERIFY DOOR AND WINDOW HGT. AND FINISH & FRAME TYPE w/OWNER.
2. VERIFY HARDWARE SCHEDULE WITH OWNER.
3. SEE EXTERIOR ELEVATIONS FOR WINDOW GLAZING GRID.
4. INDIVIDUAL GLASS PANELS WITHIN AN INGRESS/EGRESS DOOR OR WITHIN 24" OF DOOR OPENING SHALL BE SAFETY-GLAZED.
5. ALL EXIT DOOR ARE REQUIRED TO HAVE EXTERIOR LANDING (5'x5') AT THE SAME ELEVATIONS AS THE INSIDE FINISH FLOOR.

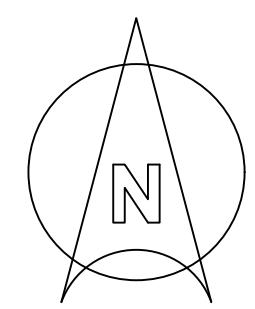
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<p>(OFFICE) 501-376-3766 (FAX) 501-376-3766</p>	
<p>tbdesignplanning@sbcglobal.net</p>	
<p>FLOOR PLAN</p>	
<u>PROJECT #</u>	2531
<u>DATE:</u>	10/13/2025
<u>SET #</u>	A-1-0
<u>REV #</u>	07
<p>NEW BUILDING FOR: SHERWOOD SUSHI</p>	
<p>ARKANSAS</p>	

† - 2532



DIMENSION PLAN

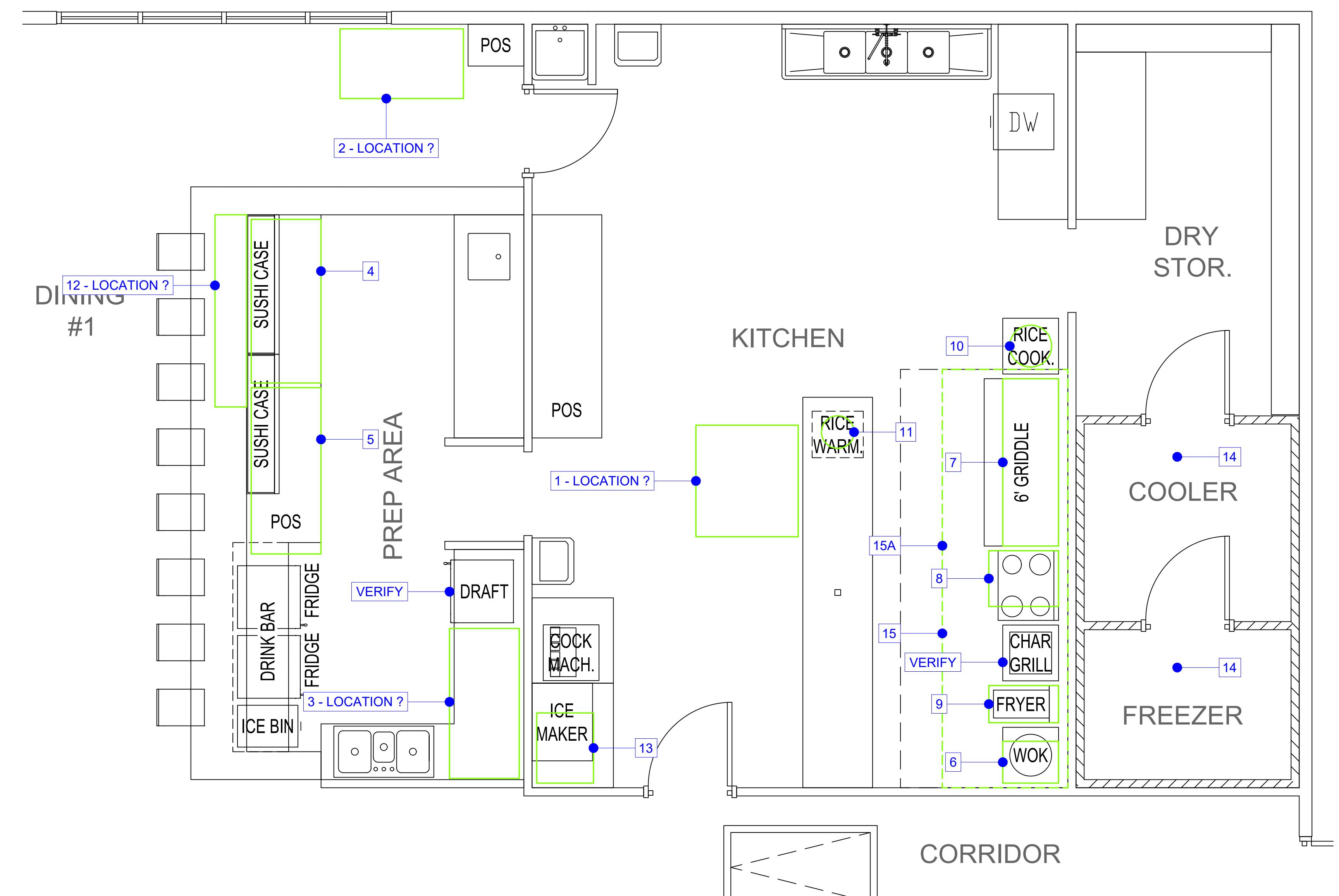
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 terry burruss <small>Architect</small>	
<u>PROJECT #</u> : SHERWOOD SUSHI <u>DATE</u> : 10/13/2025 <u>PAGE #</u> : A-10-A <u>PAGE #</u> : 5	
<u>Sheet Title:</u> DIMENSION PLAN <u>ARKANSAS</u>	

EQUIPMENT SCHEDULE

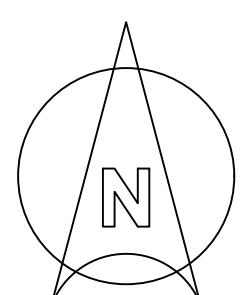
1	RANGE, WOK, GAS
2	REFRIGERATOR MERCHANTISER
3	BOTTLE COOLER
4	MEGA TOP SANDWICH / SALAD PREPARATION REFRIGERATOR
5	UNDERCOUNTER REFRIGERATOR
6	RANGE, WOK GAS
7	GRIDDLE, GAS, COUNTERTOP
8	RESTAURANT RANGE, GAS, 24", 4 OPEN BURNERS
9	GAS FLOOR FRYER
10	RICE / GRAIN COOKER
11	RICE / GRAIN WARMER
12	DISPLAY CASE, REFRIGERATED SUSHI
13	ICE MAKER, CUBE-STYLE
14	WALK IN COMBINATION COOLER FREEZER, REMOTE
15	EXHAUST HOOD
15A	ANSUL SYSTEM



EQUIPMENT PLAN

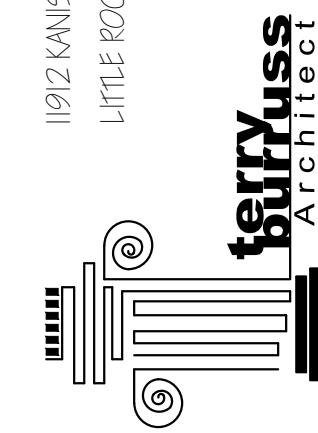
SCALE: 3/8" = 1'-0"

GREEN - DESIGNATED EQUIPMENT AND EQUIPMENT SIZE.
 BLACK - OWNER'S DRAWING LAY-OUT.



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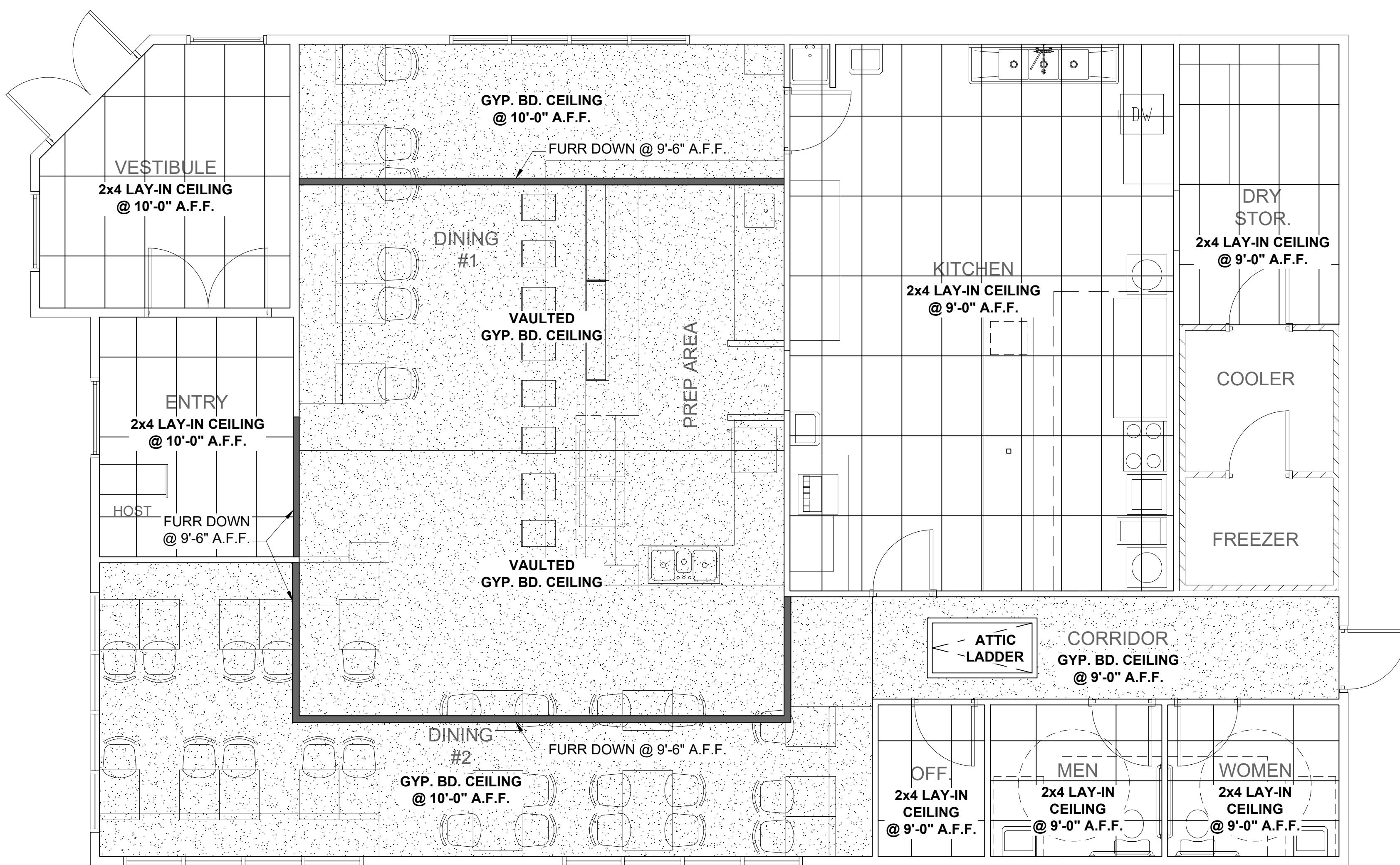
EQUIPMENT PLAN
 SHEET 1 OF 1

ARKANSAS
 PROJECT # 2531
 DATE: 10/13/2023
 SHEET #

SHERWOOD, ARKANSAS
 SHERWOOD SUSHI
 A NEW BUILDING FOR:
 PROJECT # 2531
 DATE: 10/13/2023
 SHEET #

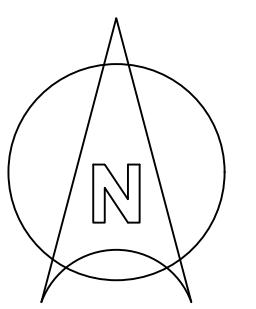
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T-2532



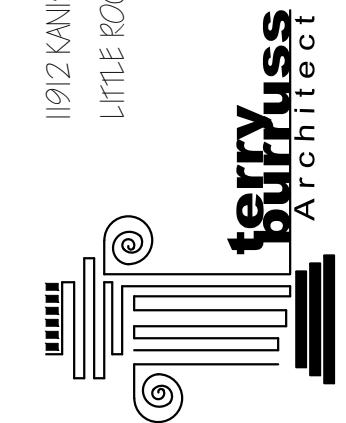
REFLECTED CEILING PLAN

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REFLECTED CEILING PLAN

SHEET NO.

ARKANSAS

A NEW BUILDING FOR:

SHERWOOD SUSHI
SHERWOOD,

PROJECT # 2531

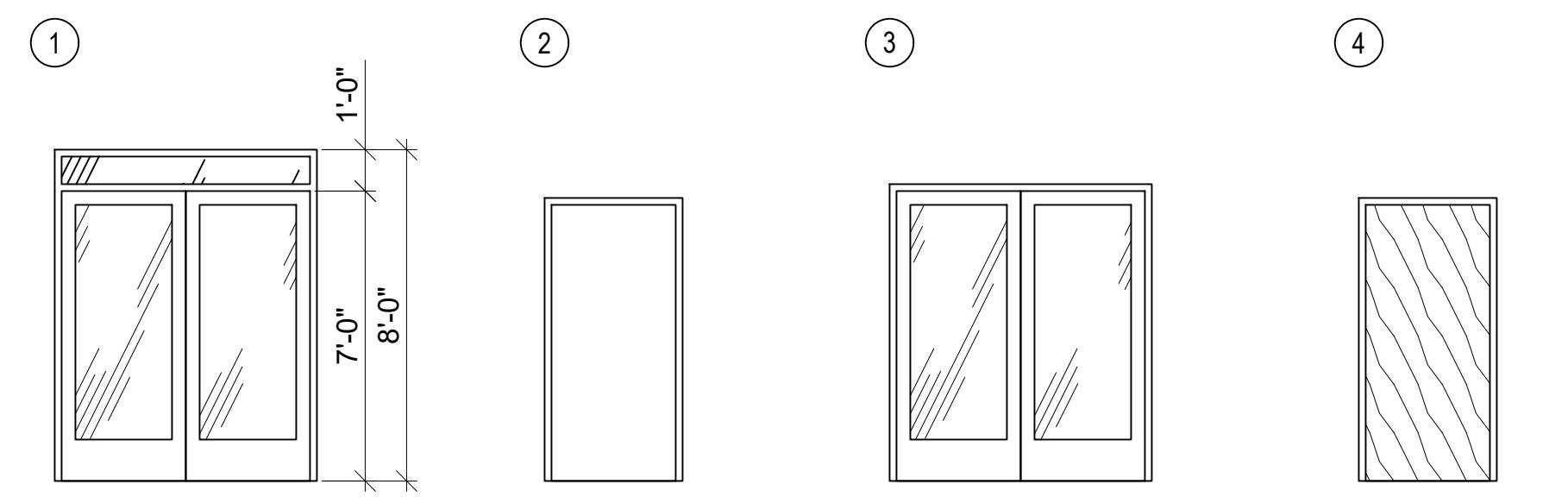
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SHEET #

A12

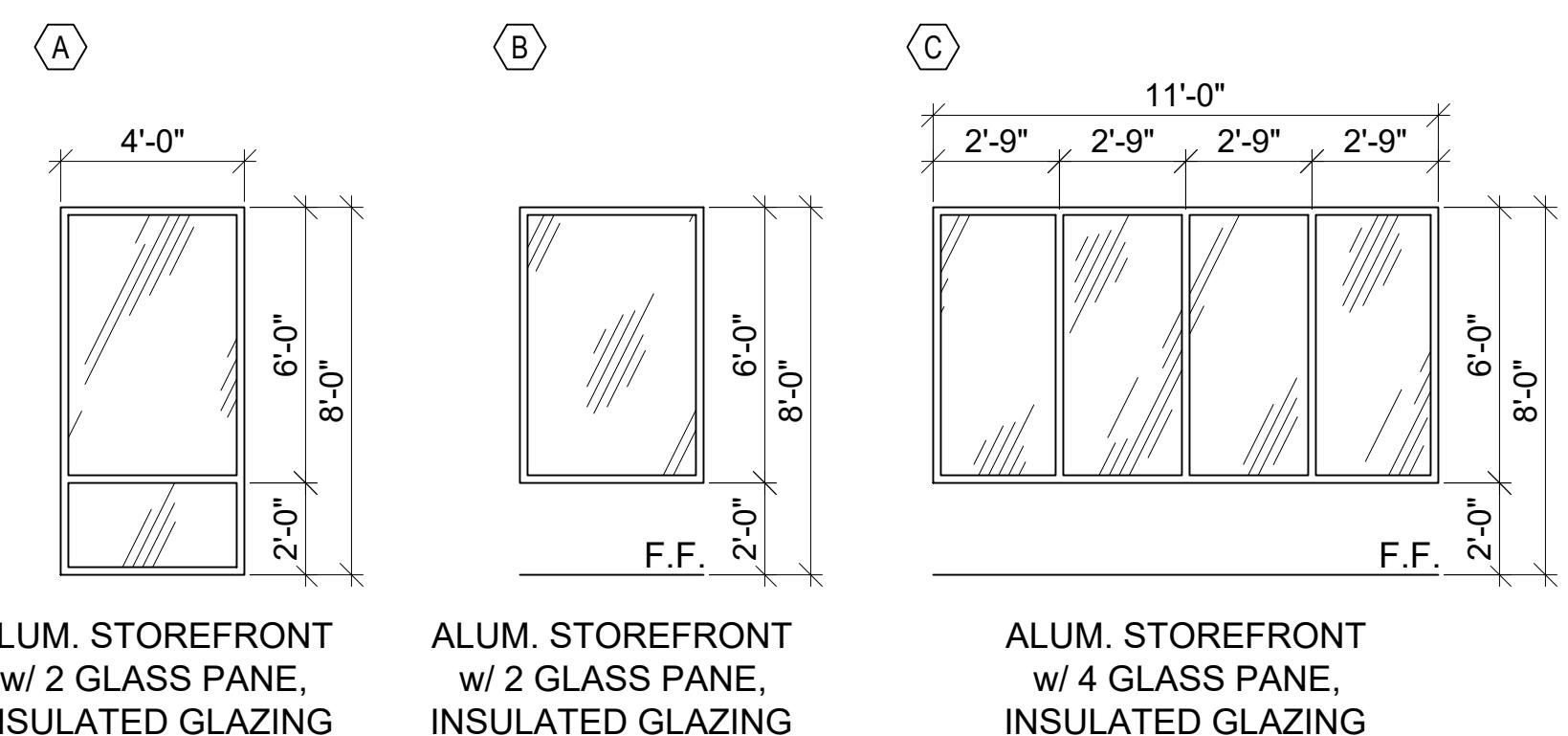
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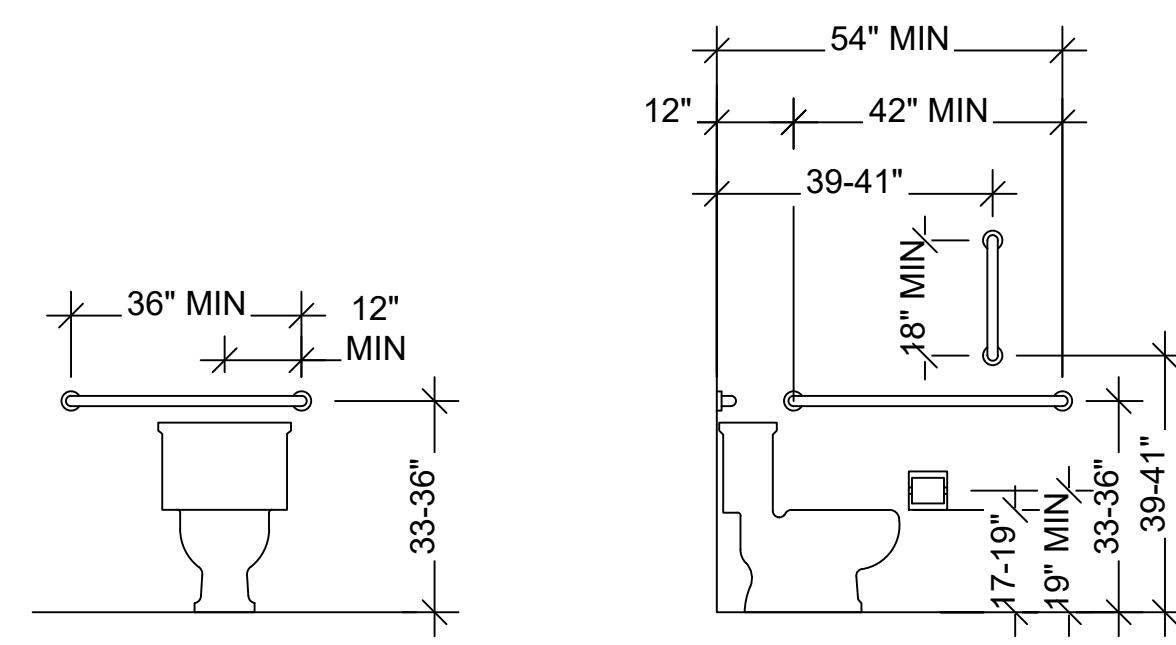
DOOR SCHEDULE

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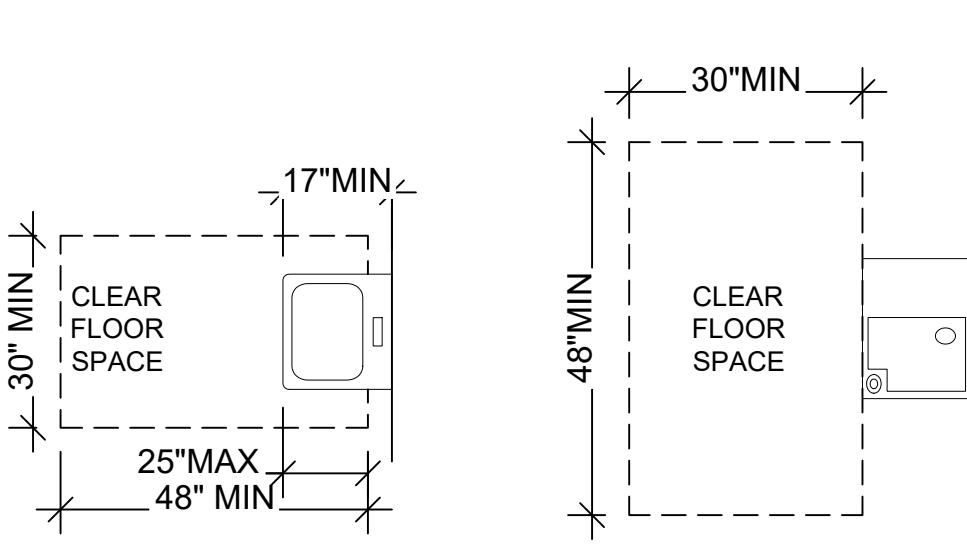
WINDOW SCHEDULE

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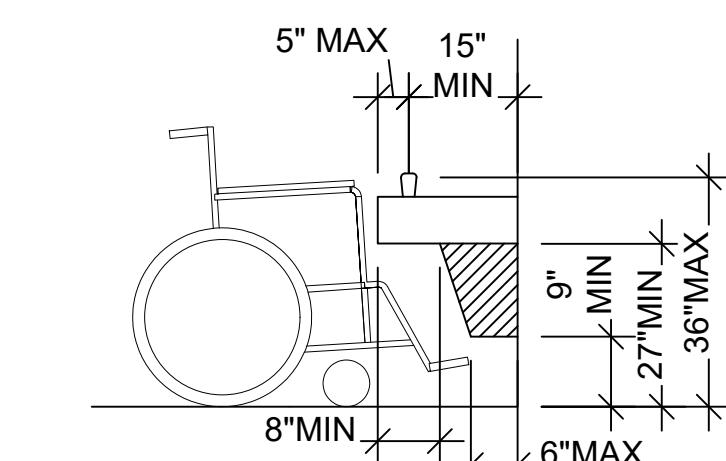
GRAB BARS AT WATER CLOSETS

NOT TO SCALE



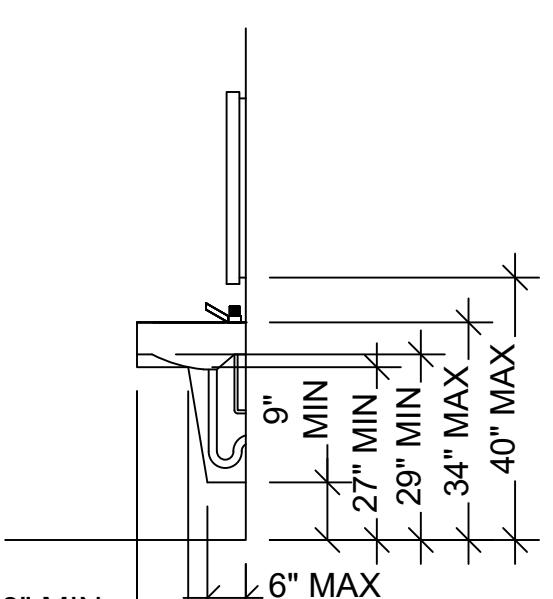
CLEAR FLOOR SPACE

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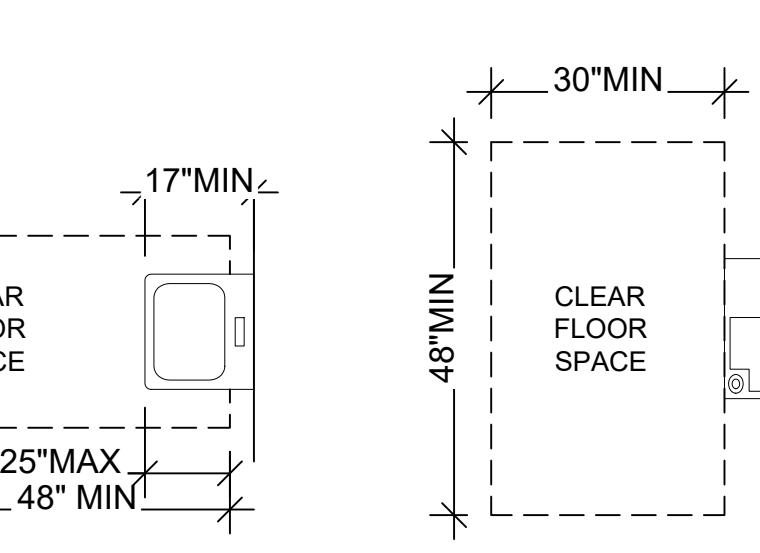
SPOUT HEIGHT AND KNEE CLEARANCES

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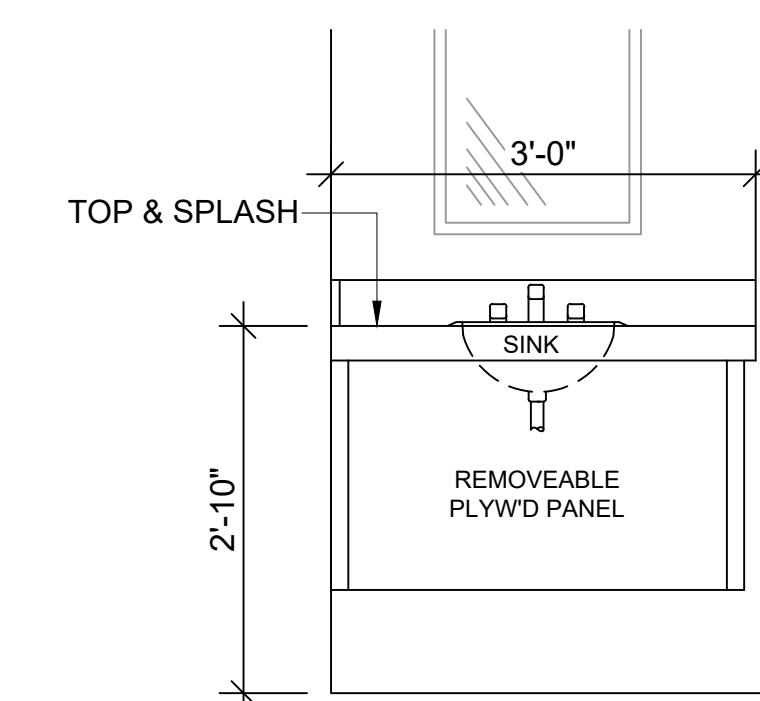
LAVATORIES CLEARANCES

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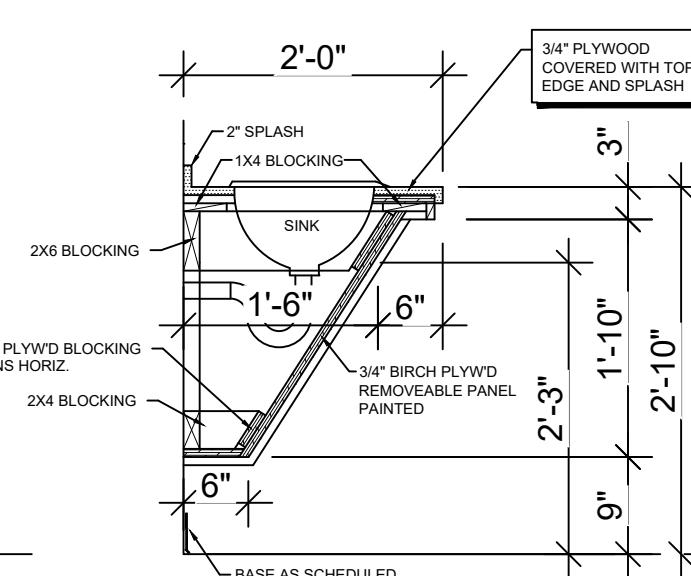
CLEAR FLOOR SPACE AT WATER CLOSETS

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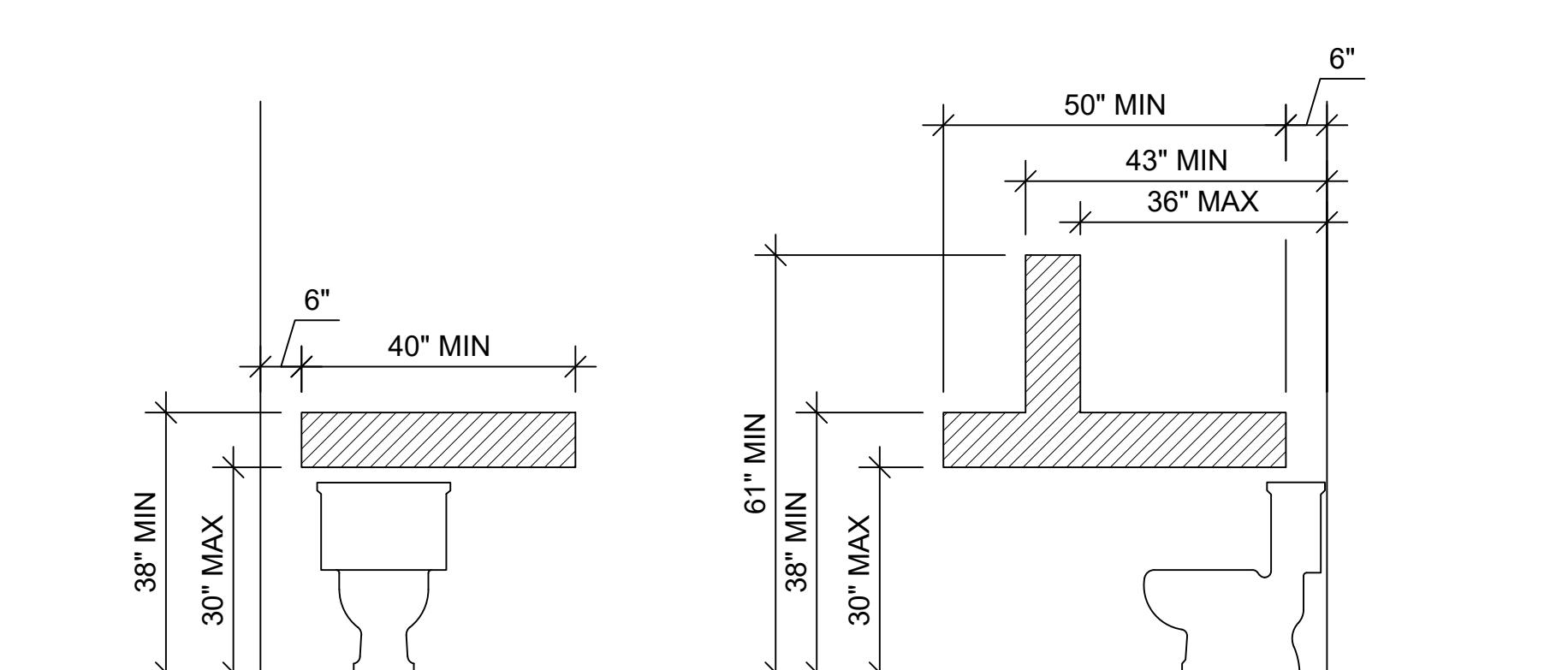


VANITY/LAVATORY ELEVATION/ SECTION

NOT TO SCALE



NOT TO SCALE



RECOMMENDED REINFORCEMENT AREAS AT TOILETS WITH ADJOINING WALLS

NOT TO SCALE

DOOR & WINDOW SCHEDULE / ADA DETAILS

ARKANSAS

A NEW BUILDING FOR:
SHERWOOD SUSHI
SHERWOOD, ARKANSAS

PROJECT # 2531

DATE: 10/15/2025

FILE #

A13

PAGE #

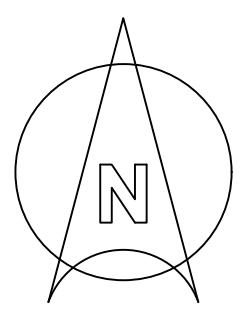
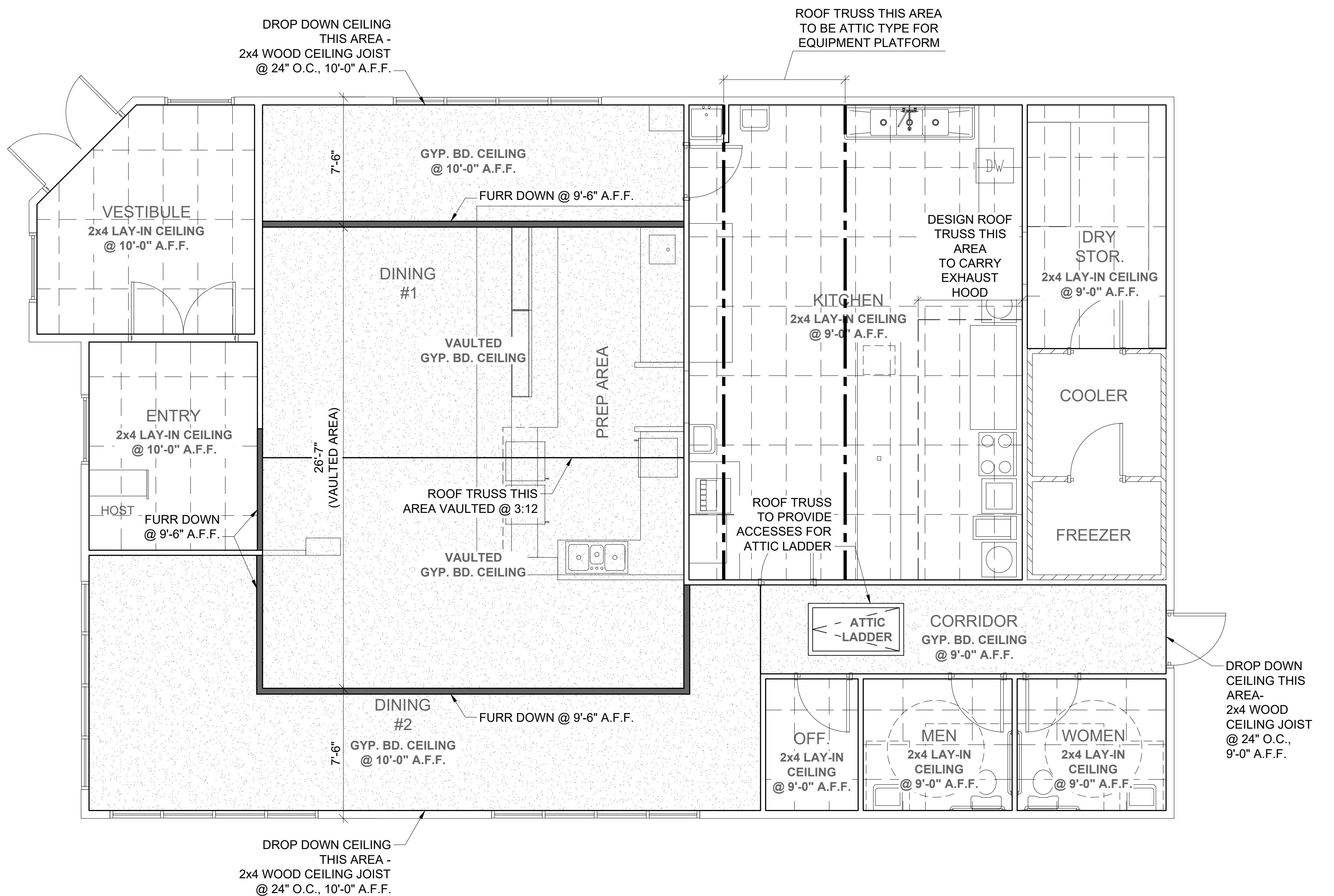
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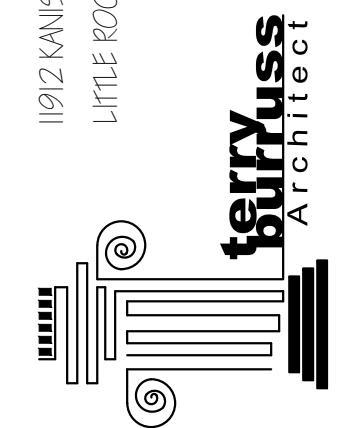


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INFORMATIONAL PLAN

SHEET TITLE:

ARKANSAS

A NEW BUILDING FOR:

SHERWOOD SUSHI

PROJECT # 2531

DATE: 10/13/2023

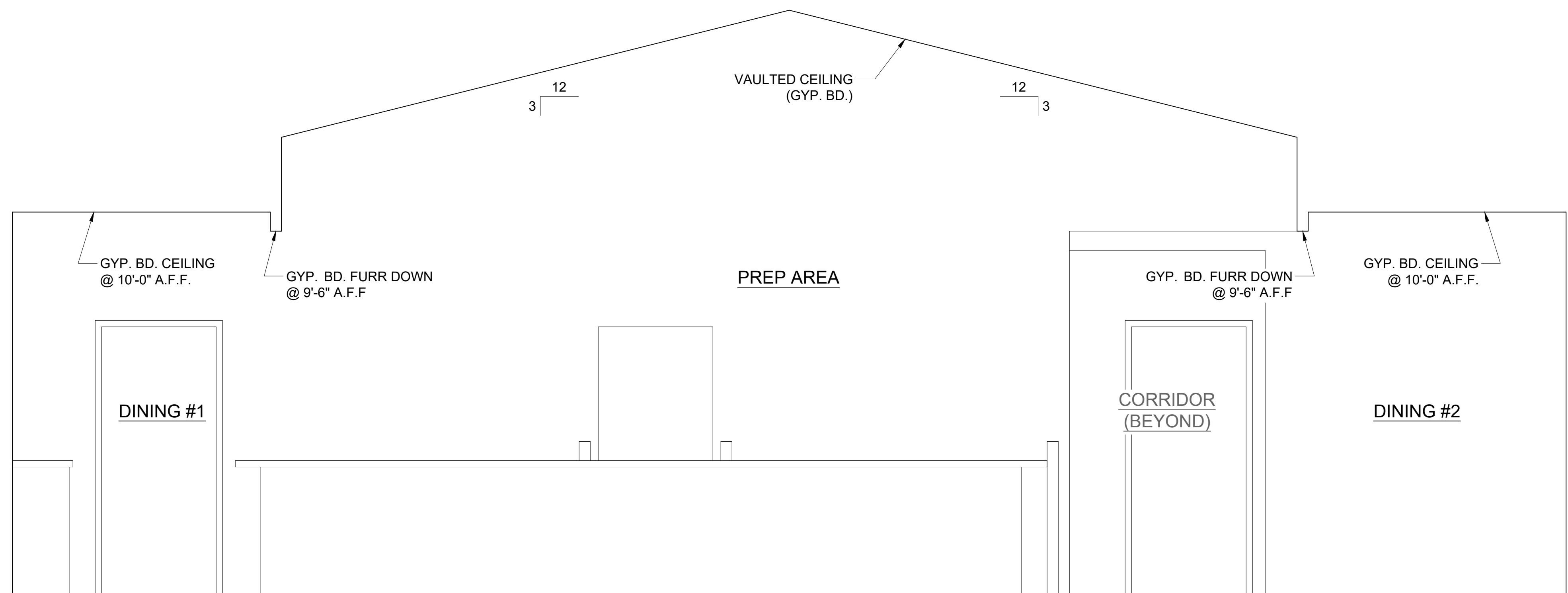
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F 10

PAGE #

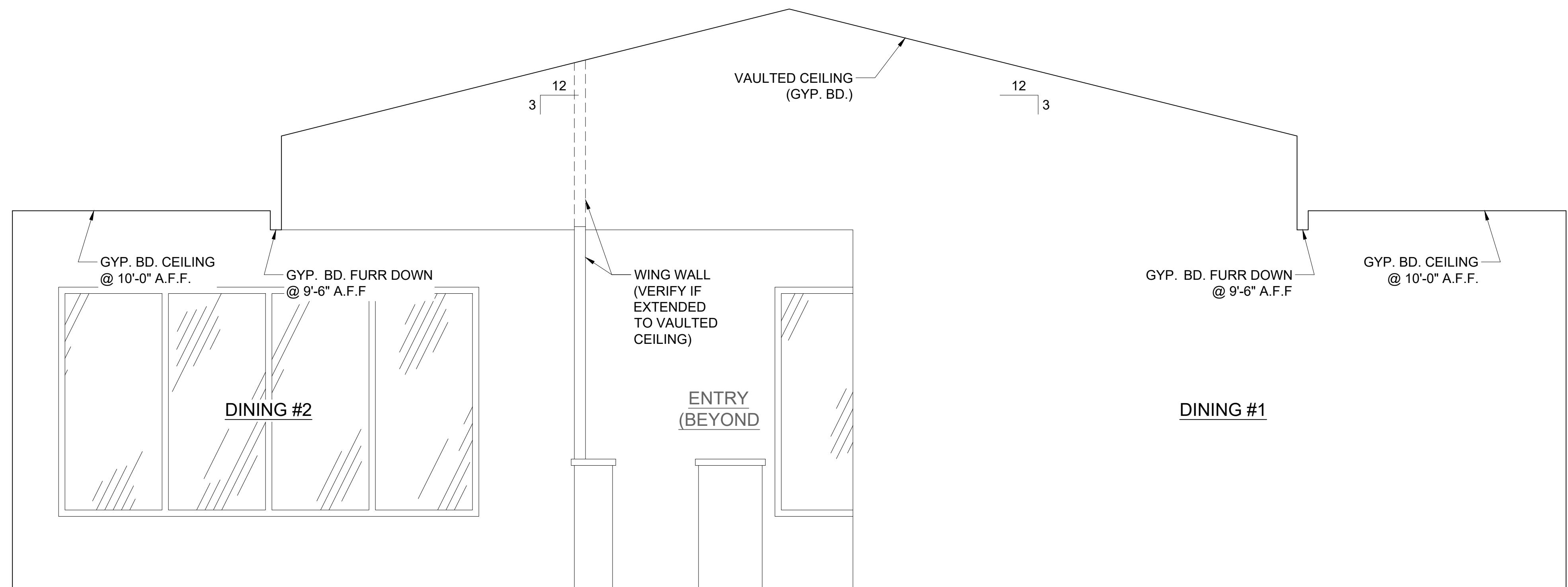
OF

1-2532



SOUTH ELEVATION

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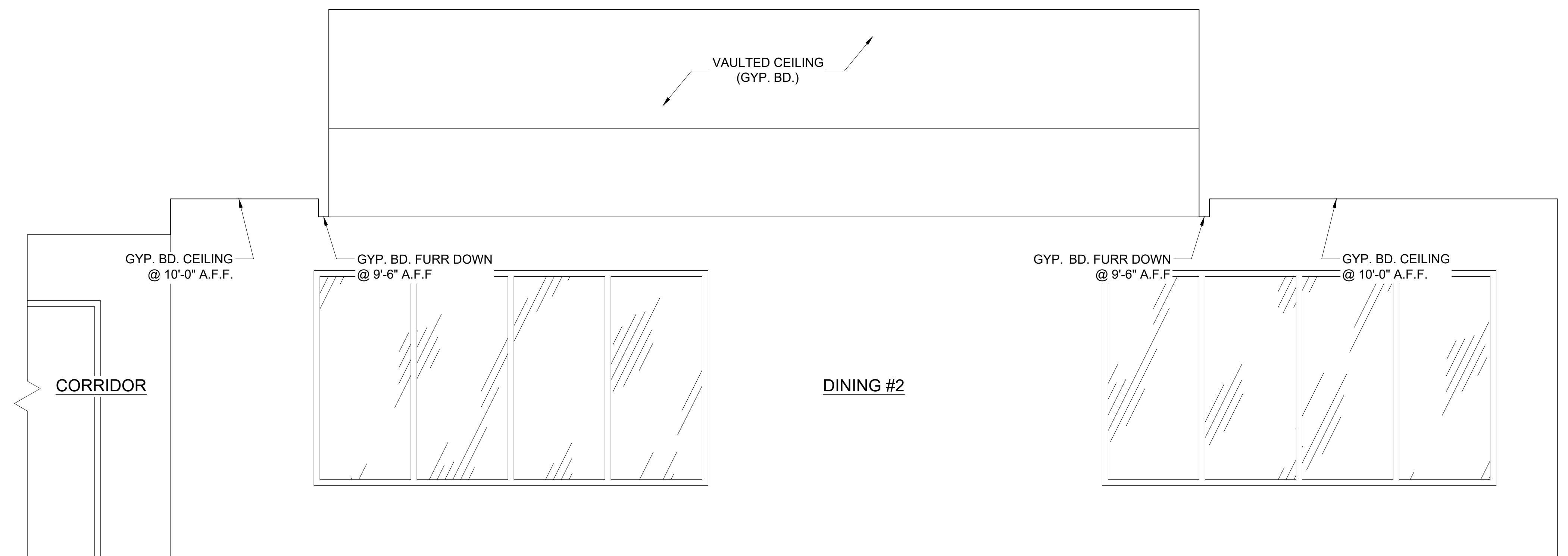


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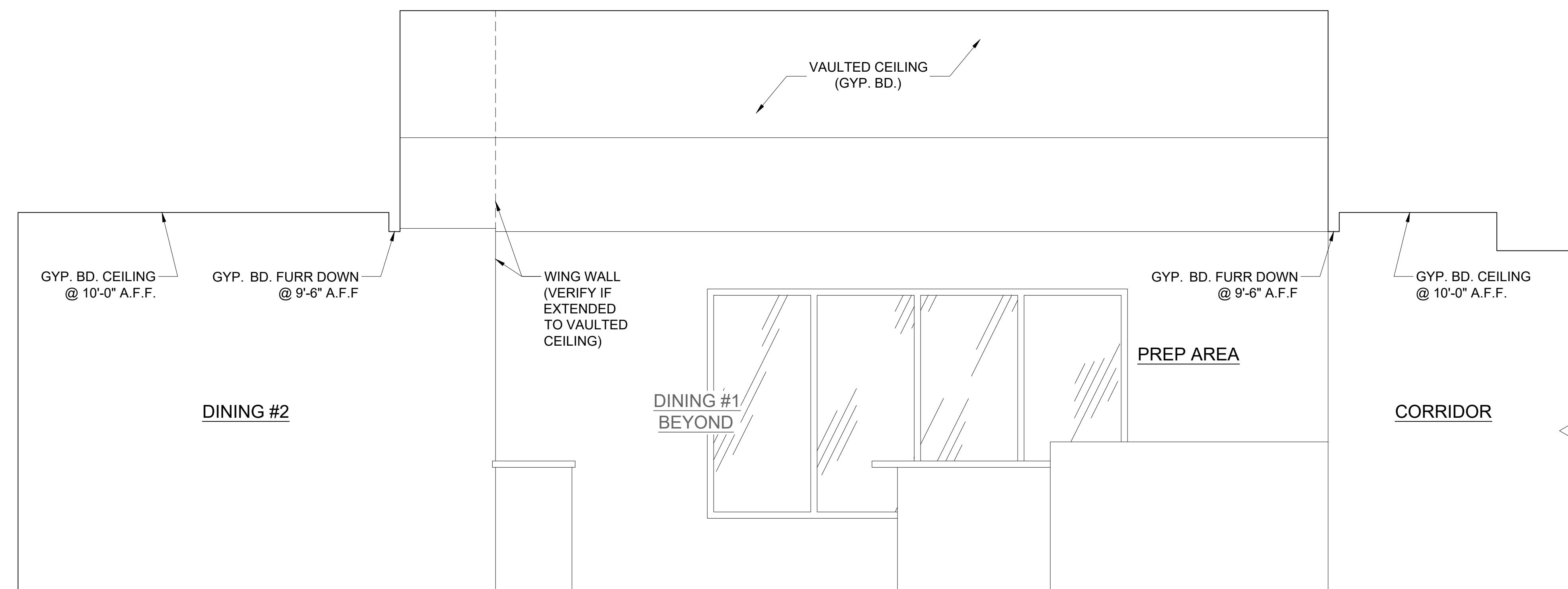
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SHERWOOD SUSHI	2531
PROJECT #	
DATE:	10/13/2025
SHEET #	
A10.0	
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INTERIOR ELEVATIONS	
ARKANSAS	

1-2532



SOUTH ELEVATION

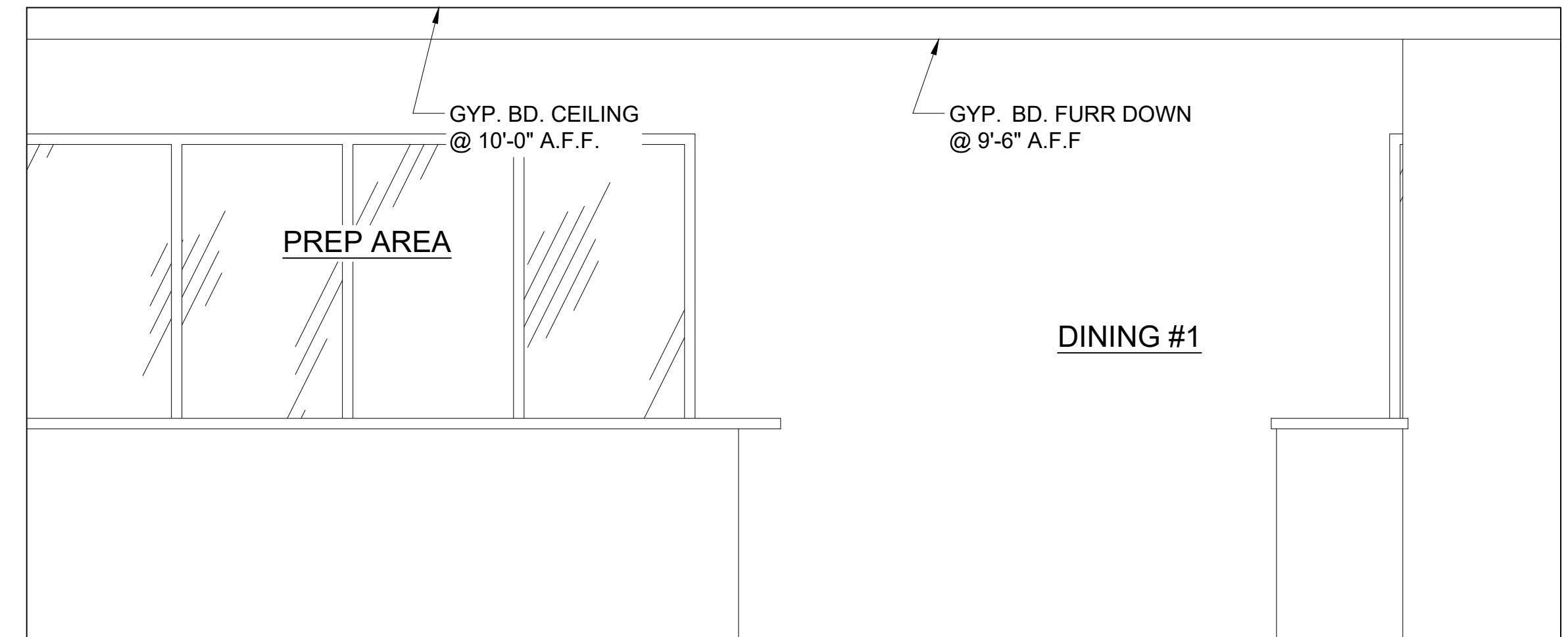
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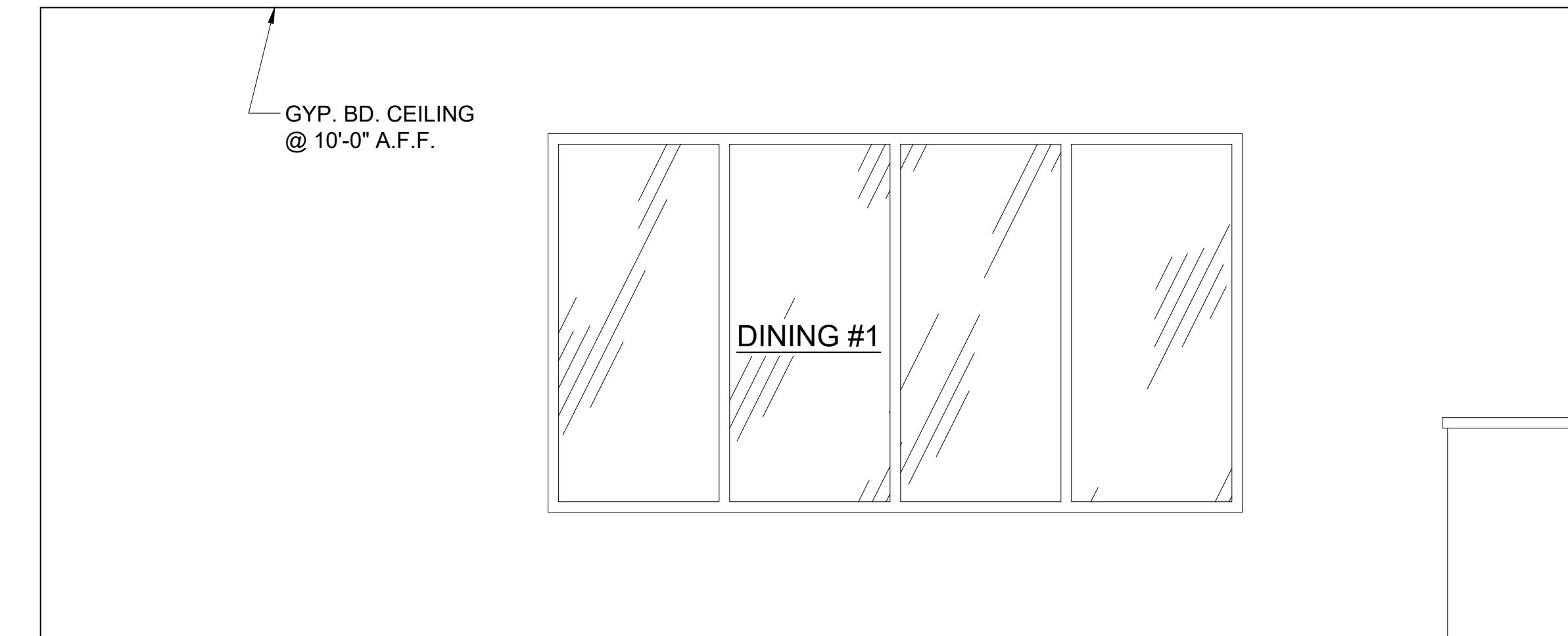
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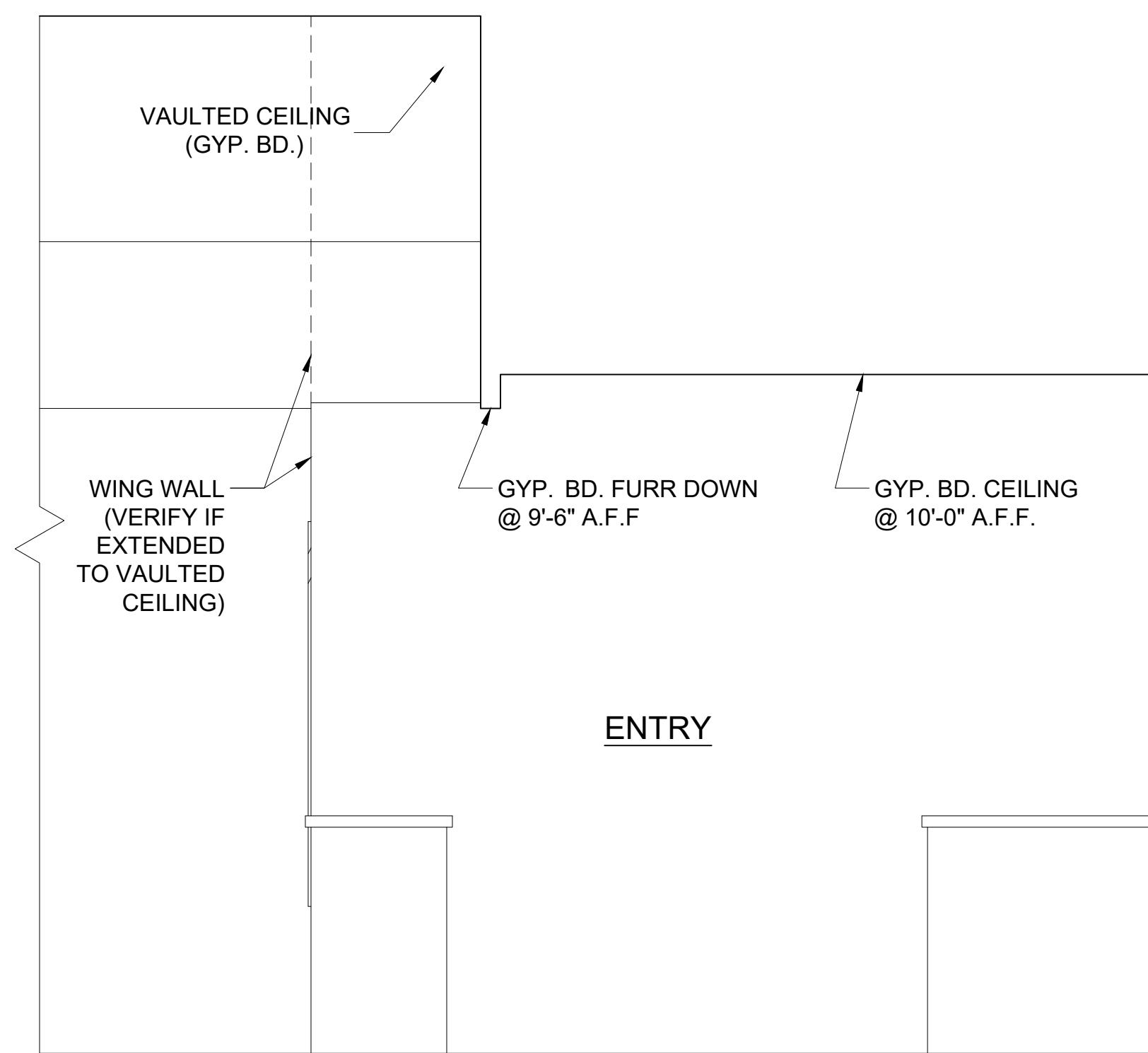
A NEW BUILDING FOR: SHERWOOD SUSHI	
SHERWOOD, ARKANSAS	
PROJECT #	2531
DATE:	10/13/2025
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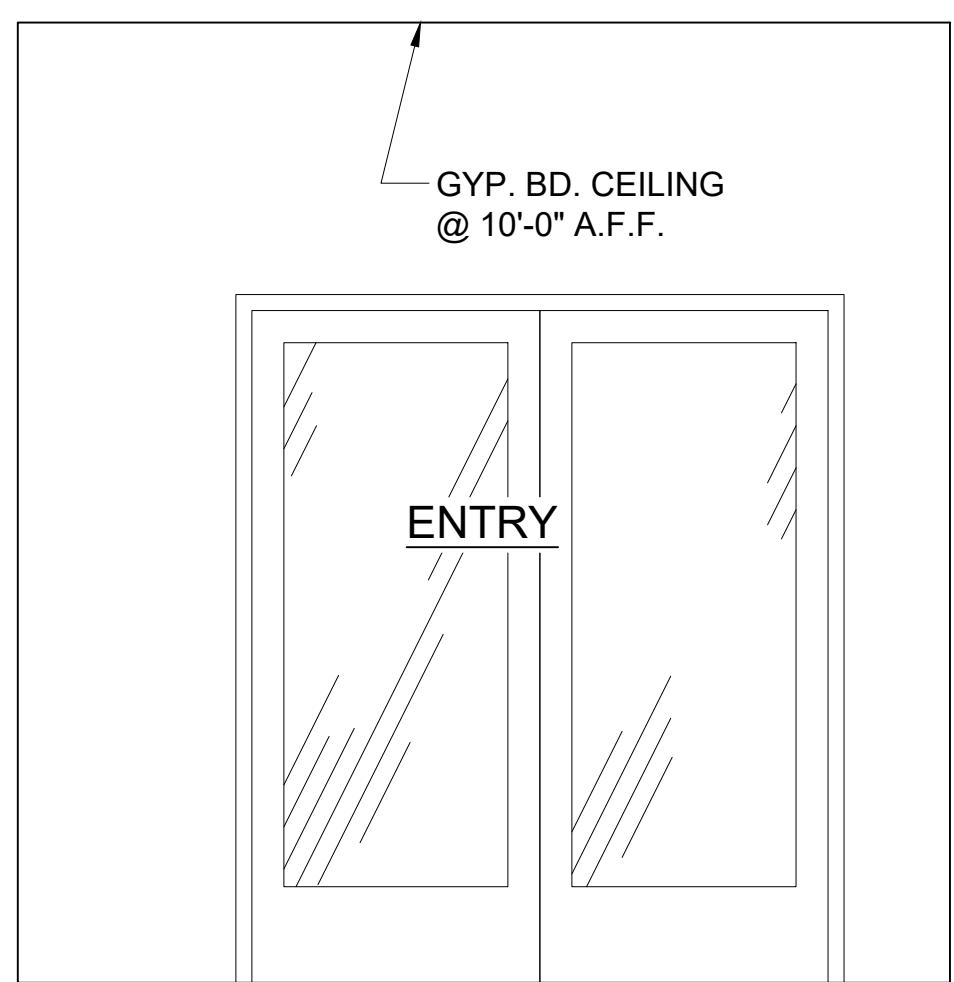
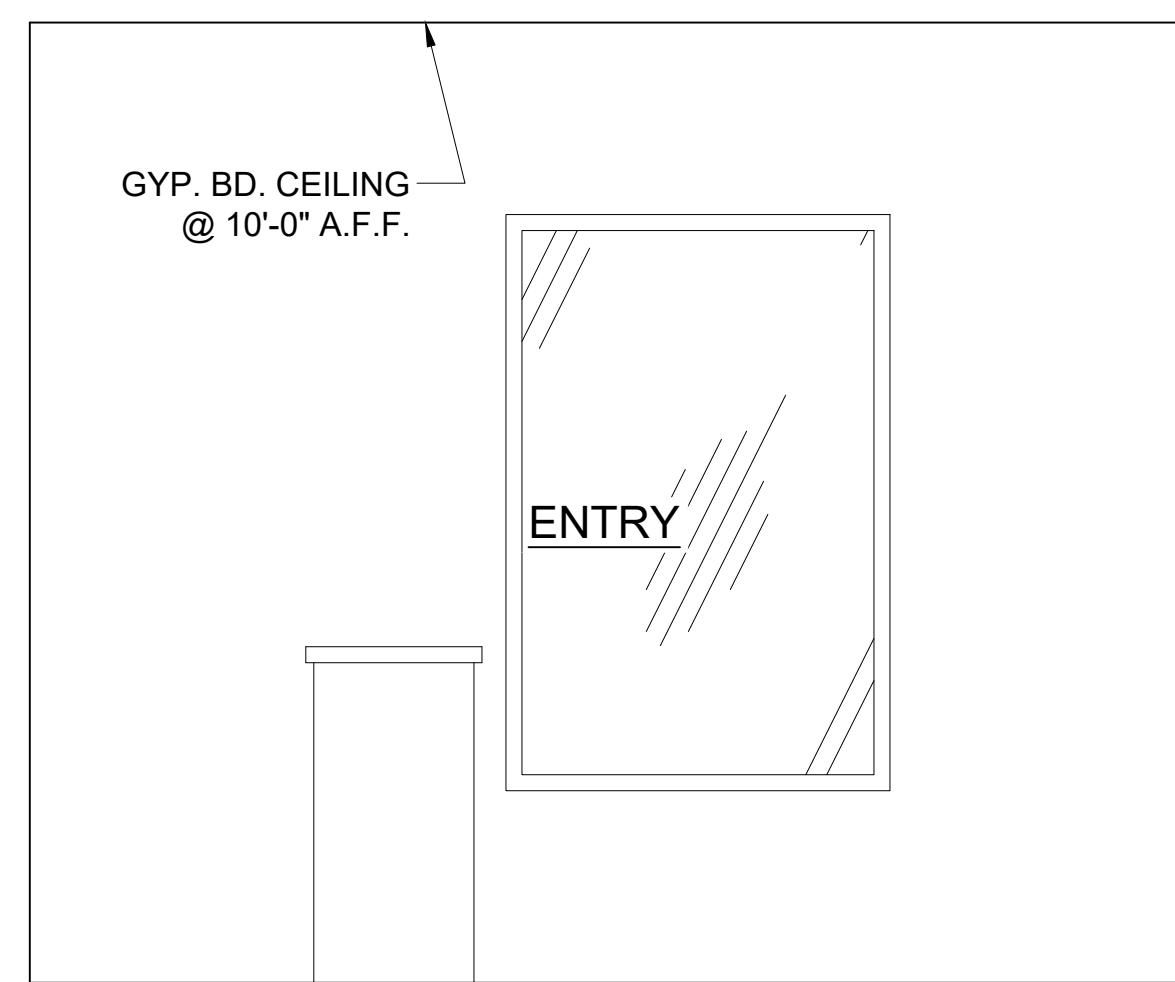
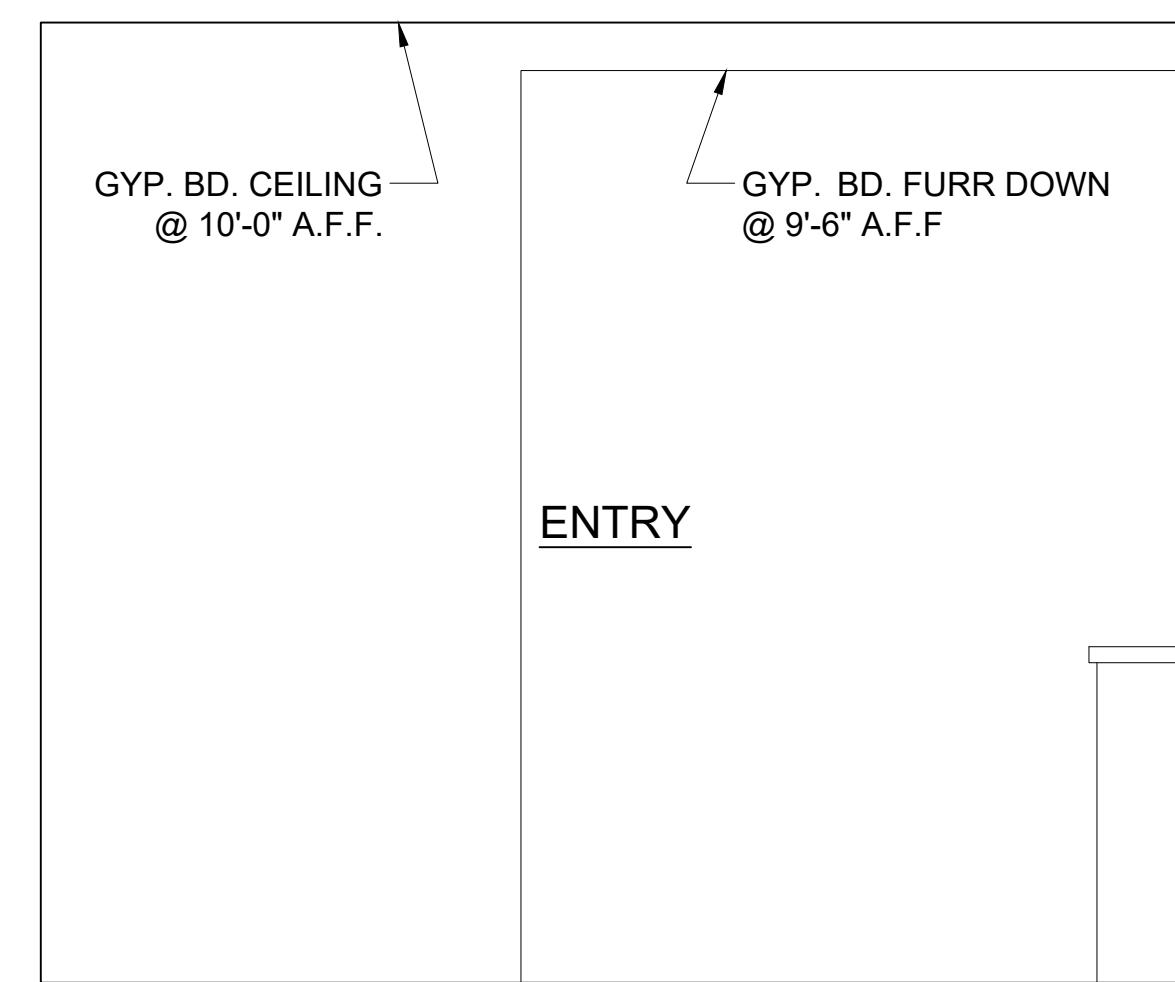
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SOUTH ELEVATION _____ SCALE: 1/2"=1'-0"

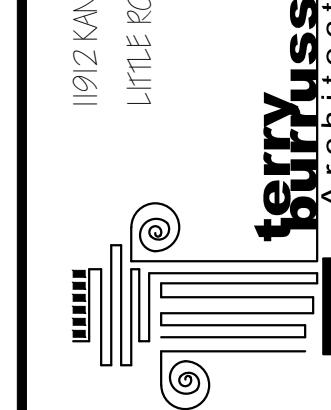


SOUTH ELEVATION _____ SCALE: 1/2"=1'-0"



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INTERIOR ELEVATIONS

SHEET TITLE:

ARKANSAS

PROJECT # 2531

DATE: 10/13/2025

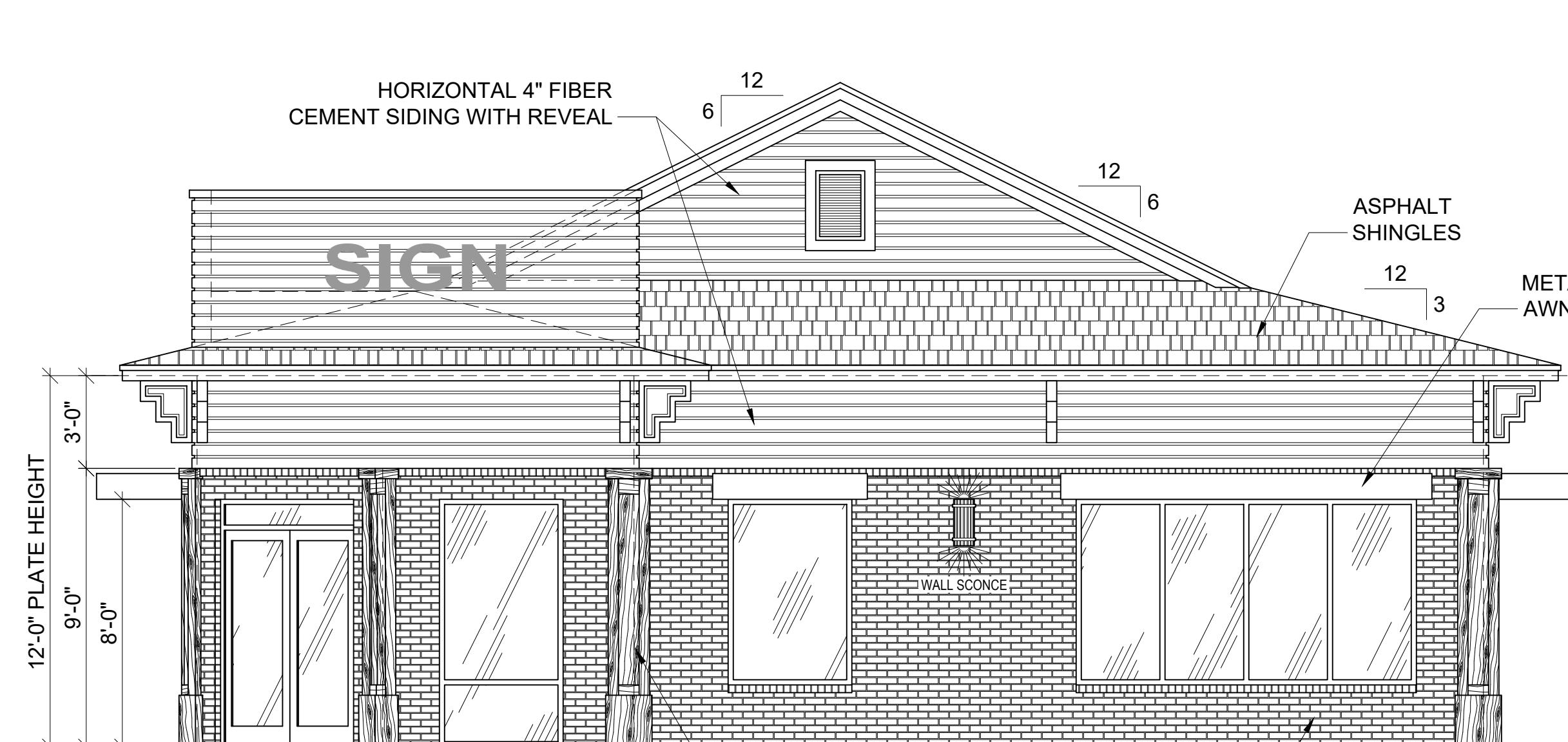
PLATE #

FILE #

10.2

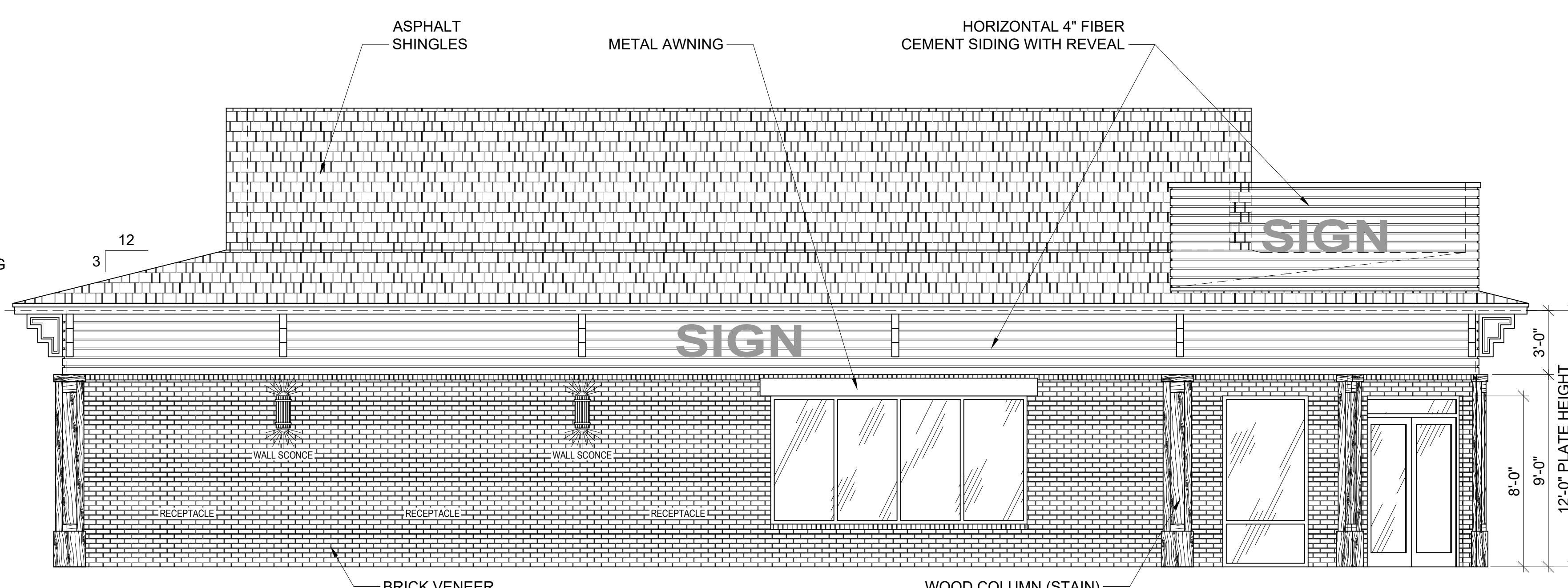
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T-2532



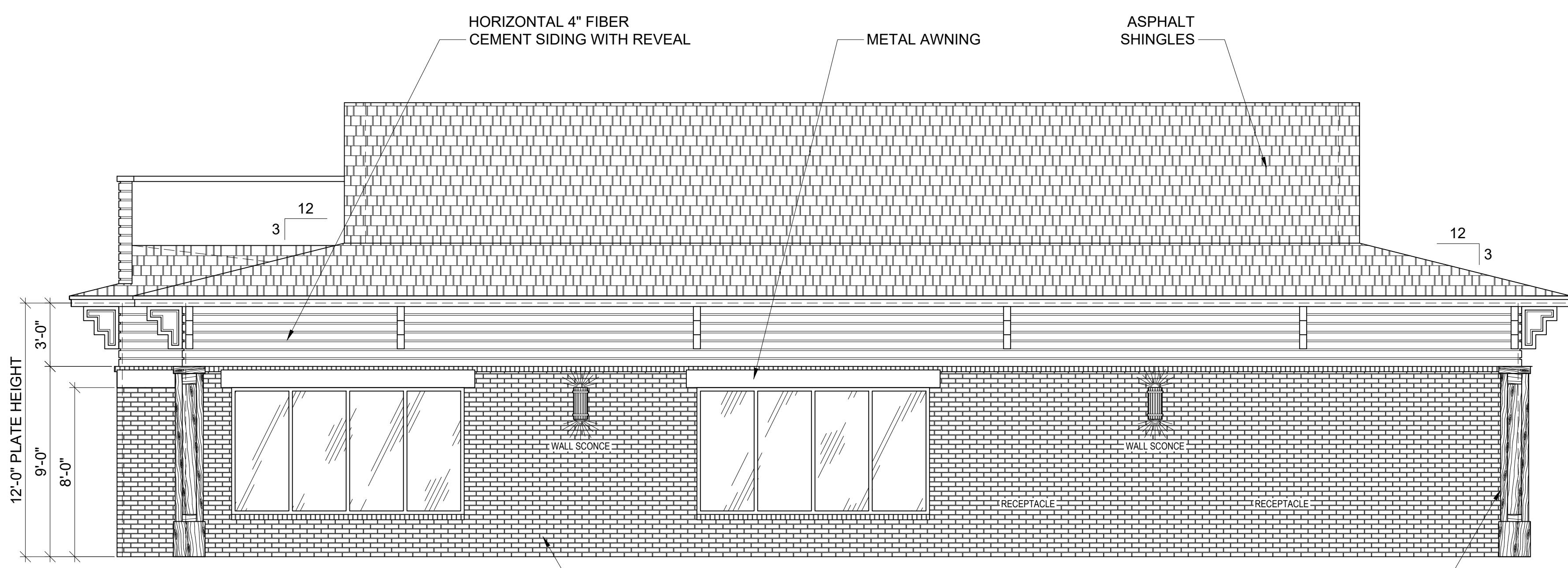
WEST ELEVATION

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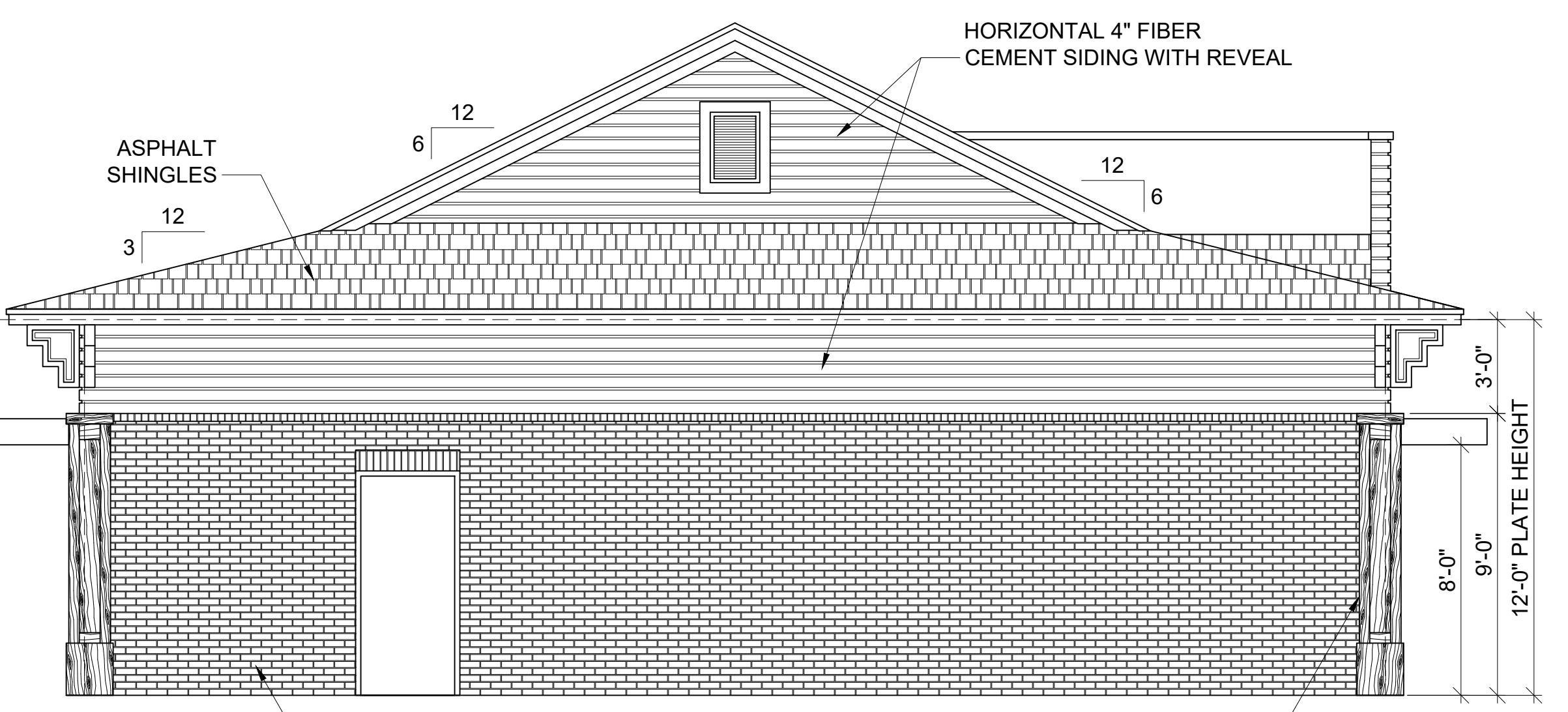
NORTH ELEVATION

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SOUTH ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"

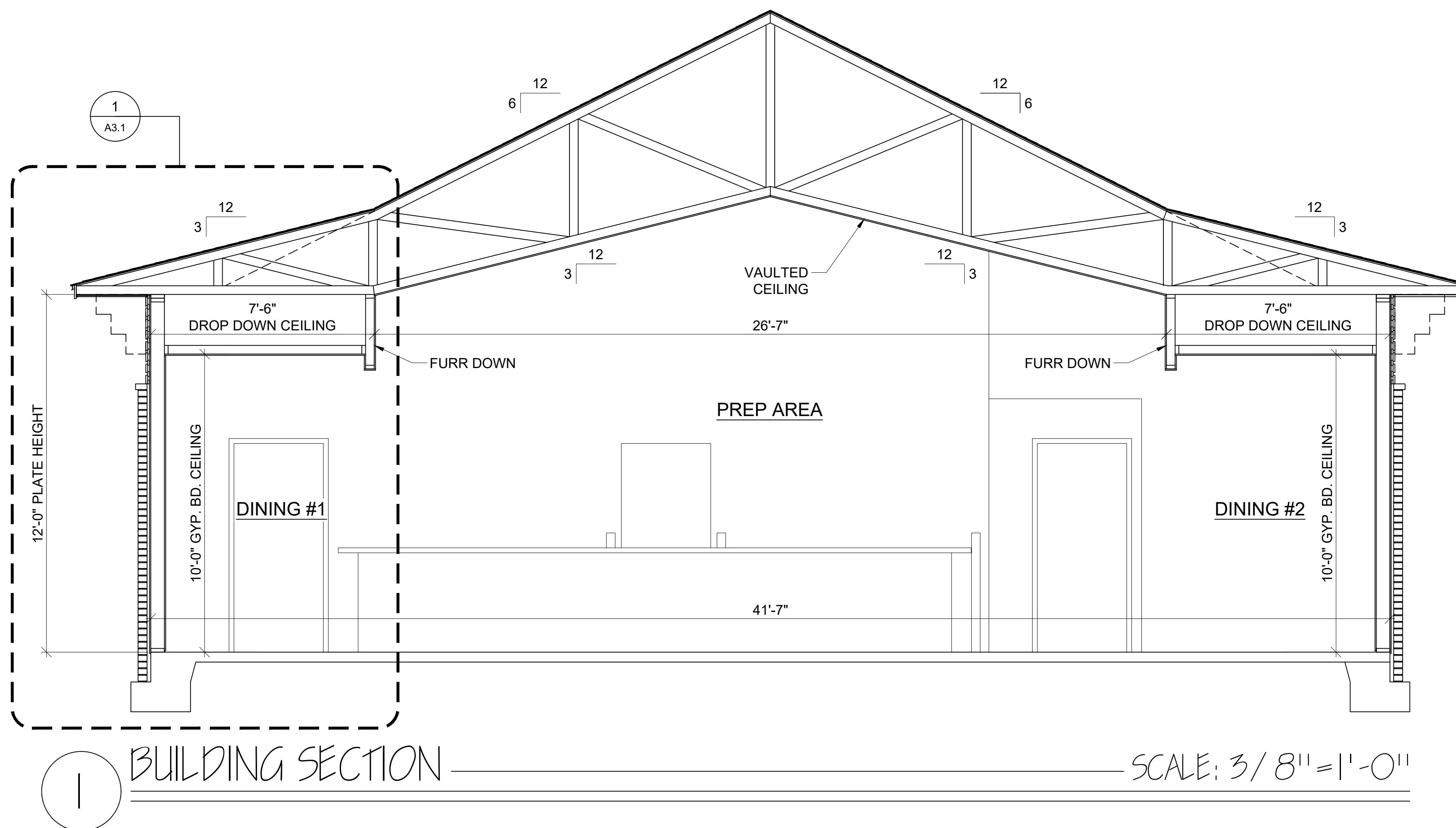
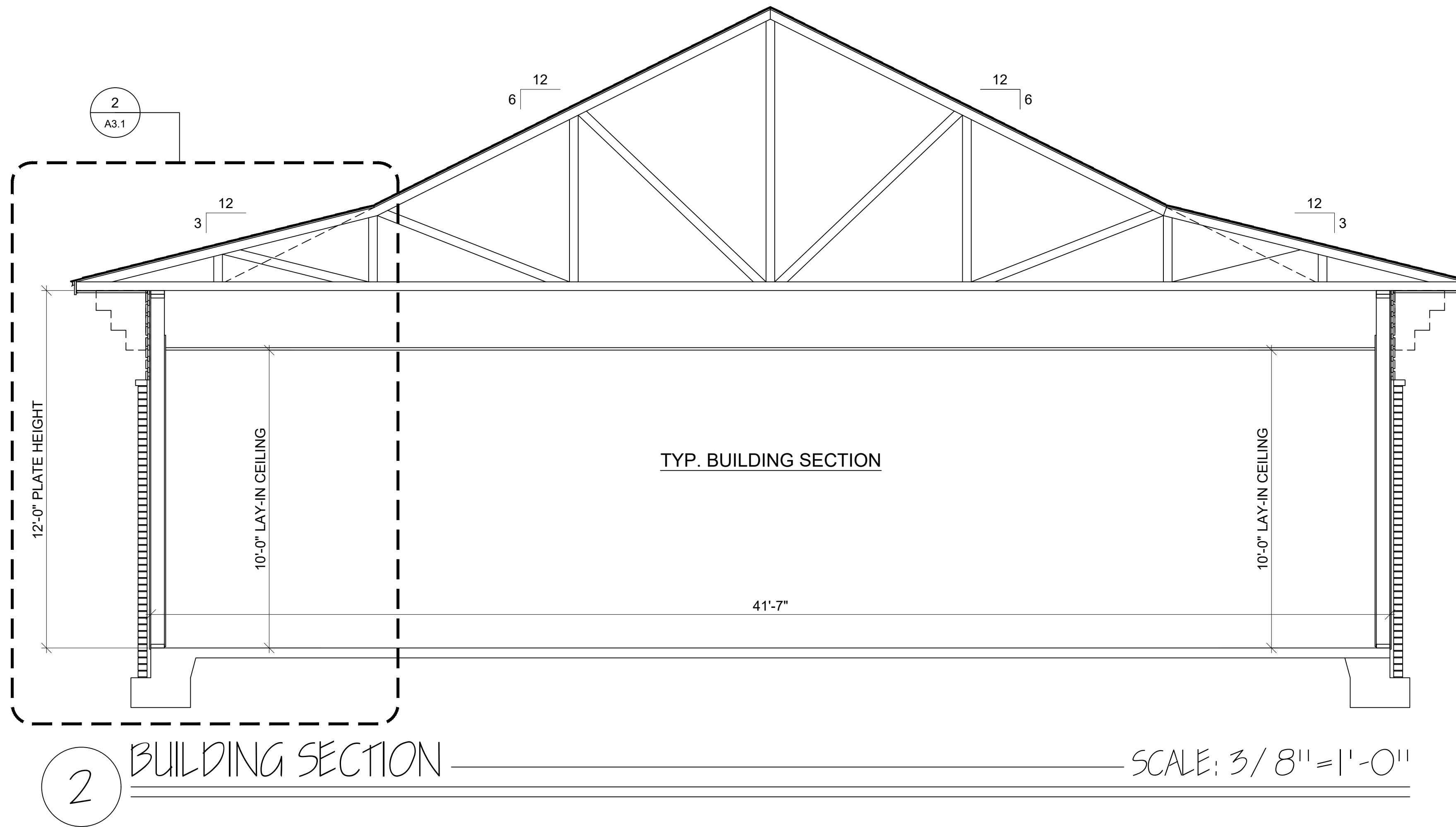
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 PROJECT #: 2531
 DATE: 10/13/2025
 SHEET #: A2.0
 PAGE #: 01

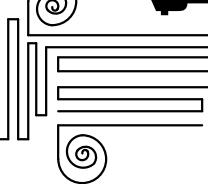
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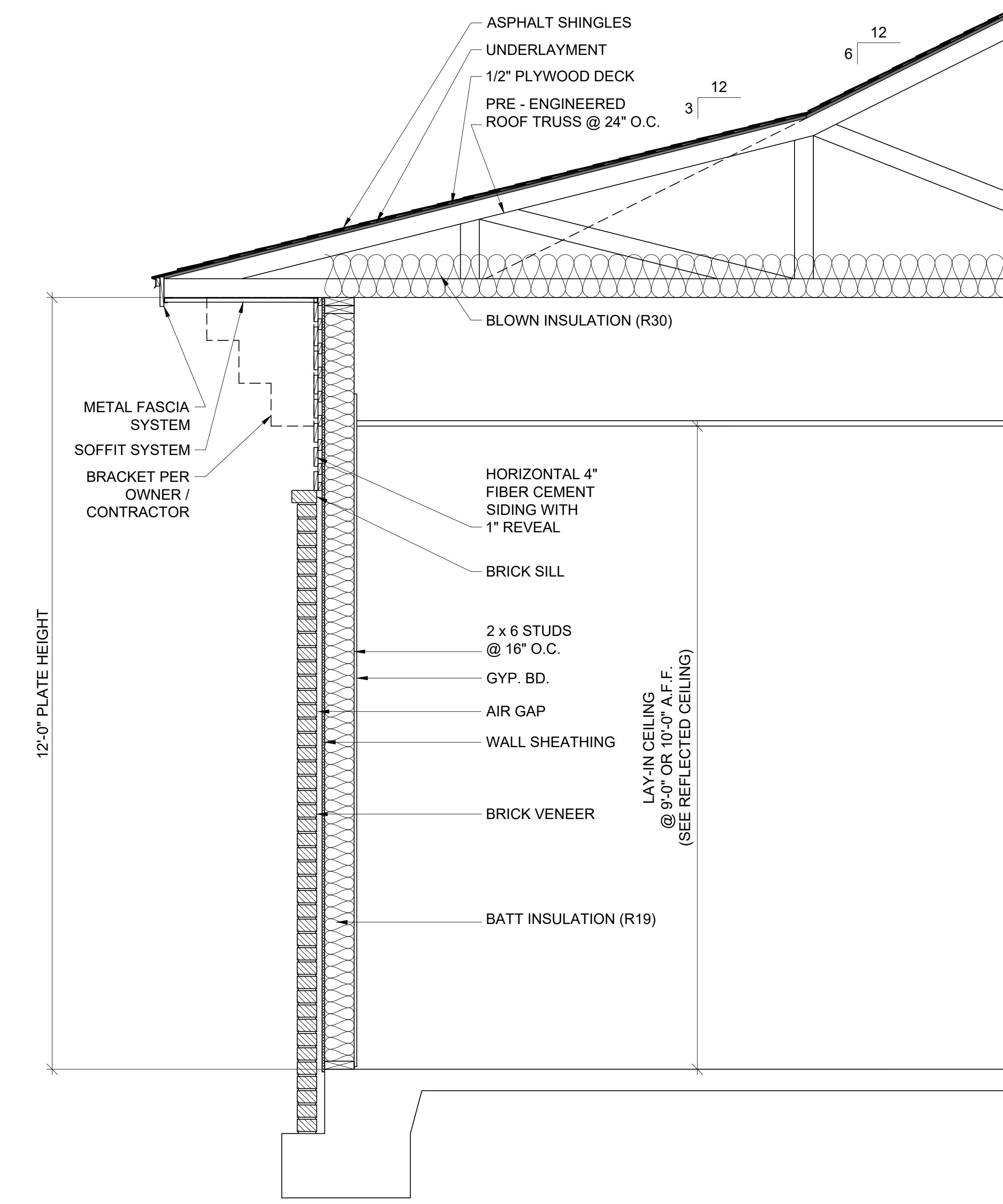
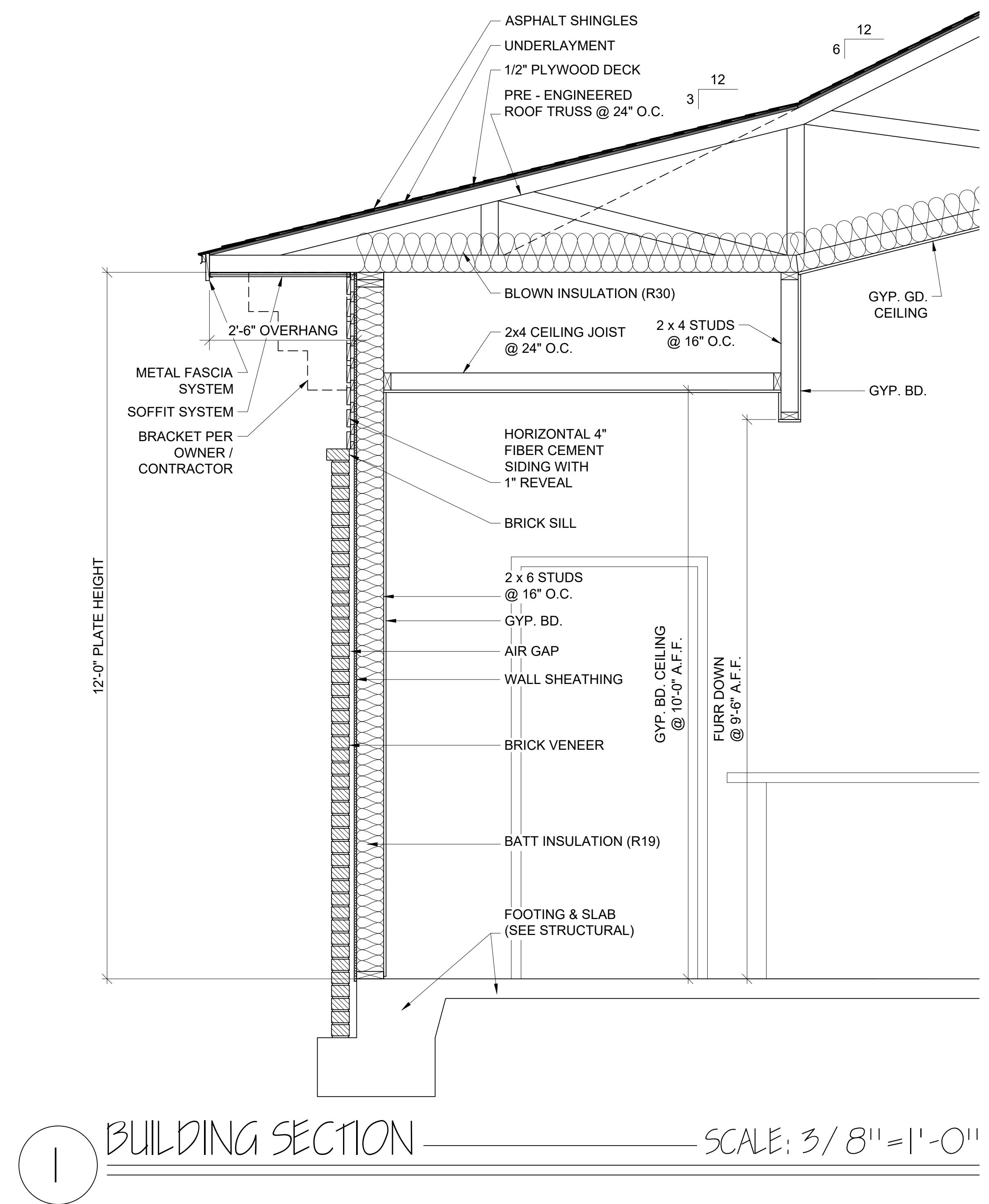


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A NEW BUILDING FOR:	
SHERWOOD SUSHI	SHERWOOD, ARKANSAS
PROJECT #	
2531	ARKANSAS
DATE:	
10/15/2025	
SHEET #	
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SHEET 111E:

WALL SECTIONS

A NEW BUILDING FOR: SHERWOOD SUSHI

PROJECT # 2531
DATE: 10/13/2025
SHEET # A3.1
PAGE # OF

REQUEST

The applicant is seeking site plan approval for a two-lot commercial subdivision. The proposal includes construction of a new ~2,000 square foot building to house an HVAC business on Lot 1R and a new ~2,662 square foot restaurant on Lot 11R. The development proposes shared site access from E Kiehl Ave via Lot 1R and shared parking, located on Lot 11R.

OWNER/AGENT INFORMATION

Owner: McAdams Lie Kianho/Austin/McAdams Judith/William, 8924 Stillwater Road
Sherwood, AR

Applicant/Authorized Agent: Thomas Engineering

TECHNICAL SITE INFORMATION

Location/Parcel ID: 1800 E Kiehl Ave

Parcel ID: 23S0180000700

Property Area: ±0.73 acre (*per Pulaski Co Assessor*); ±0.68 (*per replat*)

Current Zoning: Light Commercial (C-2)

Land Use Plan: Office/Buffer Area (S-OFF)

Surrounding Zoning/Land Use: North – General Commercial District (C-3)/Commercial Corridor (S-COR)
South – Single Family Residential (R-1)/Suburban Single Family (S-SFR)
East - Single Family Residential (R-1)/Suburban Single Family (S-SFR)
West - Single Family Residential (R-1)/Office/Buffer Area (S-OFF)

EXISTING CONDITIONS

Lot 1R is developed with a one-story 1,080 sf non-residential structure previously used as a hair salon.

A comprehensive variance approved by the Board of Zoning Adjustment on January 13, 2026, reduces the required front yard setback for Lots 1R and 11R to 22'. As a result, the existing front yard setback encroachment presenting by the structure on Lot 1R is relieved of its nonconformity status. Lot 11R is undeveloped.

PUBLIC NOTIFICATION

n/a

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Office/Buffer Area (S-OFF). Areas include a mixture of office, light commercial uses and various housing types including duplexes, small-scale multi-family, single-family-attached homes, and single-family detached homes. The districts typically represent areas in transition from single-family residential to more intensive uses or areas which office and limited commercial is most appropriate. **Within these transitional areas, a great deal of care is warranted in order to balance the pressure to allow more productive uses with the need to protect existing property owners.**

MASTER STREET PLAN

The subject properties are located on E Kiehl Ave with ~254.34' of direct frontage. Lot 11R has ~136.34' of frontage on Fairview Avenue to the east and Lot 1R containing ~98.66' of frontage on Park Avenue to the west.

E Kiehl Avenue

Minor Arterial (80' ROW)

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202602.Lot 1R and 11R, Blk 2 Carroll Heights Sub

SHERWOOD 

Planning Commission Meeting: 2/10/2026

Fairview Avenue: Local (50' ROW)
Park Avenue: Local (50' ROW)

STAFF ANALYSIS

1. Scaled site plan, including:
 - a. ~~Graphic scale: **Provided**~~
 - b. ~~Proposed lot lines: **Provided**~~
 - c. Existing and proposed vehicular and pedestrian circulation systems including streets, alleys, walkways, service areas and loading areas, the location and arrangement of off-street parking areas and all points of vehicular ingress and egress.
 - i. *Applicant indicates a single point of ingress/egress to access the commercial subdivision utilizing the existing driveway on E Kiehl Ave [see 1.c.iii.2.J.]*
 - ii. *Applicant must execute a shared access and parking agreement between Lots 1R and 11R, as required prior to issuance of a building permit. Acknowledged by applicant; staff requires submission of said shared access and parking agreement once completed for review.*
 - iii. *An approved fire apparatus turnaround or secondary point of ingress/egress is not provided. Adequate turnaround must be provided in accordance with AFPC Appendix D Section 103.4. Not addressed; applicant must indicate fire apparatus turnaround on the site plan [see #5.g.].*
 1. *Based on reconfiguration of the lots, additional hydrant placement is likely required. Indicate location of existing fire hydrant(s). Addressed; Fire Marshal determined adequate fire hydrant is placement within 400' of the proposed commercial subdivision.*
 2. *Per directive of the Fire Marshal, the proposed site layout does not support minimum requirements for a dead-end fire apparatus access turnaround [See AFPC Appendix D Section 103.4 below].*

TABLE D103.4

REQUIREMENTS FOR DEAD-END FIRE APPARATUS ACCESS ROADS

LENGTH (feet)	WIDTH (feet)	TURNAROUNDS REQUIRED
0–150	20	None required
151–500	20	120-foot Hammerhead, 60-foot "Y" or 96-foot-diameter cul-de-sac in accordance with Figure D103.1
501–750	26	120-foot Hammerhead, 60-foot "Y" or 96-foot-diameter cul-de-sac in accordance with Figure D103.1
Over 750		Special approval required

For SI: 1 foot = 304.8 mm.

- iv. *Revise site plan to capture required sidewalk improvement on Park Ave, ensuring each individual sidewalk improvement along Park Ave and Fairview Ave meets minimum 5' sidewalk required.*
 1. *Will the power pole and AT&T box on Fairview Ave need to be relocated to accommodate the new sidewalk? Addressed; applicant relocated Fairview Ave sidewalk improvement to mitigate conflict with existing utility. Relocation of the sidewalk improvement within bounds of Lot 11R [private property] is indicated by a 7' easement to capture the sidewalk improvement at the NE corner of*

Lot 11R. Applicant must file said pedestrian easement with the County recorder and submit recordation documentation prior to issuance of a building permit.

2. ***Records indicate sidewalk improvement in the boundary of Lot 1R [parallel to the proposed new construction] is existing; however, upon redevelopment of the site, a connection to the shared parking, nor connection to the internal pedestrian system is provided. Staff recommends the existing sidewalk be removed and the site plan indicate removal during construction.***

v. ***Revise site plan to indicate a stub out turnaround in the main parking area to allow vehicles parking in the easternmost parking spaces to backout. Addressed; applicant dimensioned stub out in the SE parking area to ensure adequate depth for vehicles to maneuver out of the end parking spaces.***

d. Proposed perimeter treatment of the property, indicating screening materials to be used including fences, walls, and plant materials together with a description of uses, setbacks and their proposed relationship to surrounding areas.

i. ***Indicate building setbacks for C-2 zoning district on both lots to all property lines. Addressed***

1. ***Applicant has submitted a variance request to reduce the front yard setback across Lot 1R and Lot 11R concurrently with site plan review. Site plan as submitted indicates the reduced front yard setback on Lot 1R and Lot 11R, as requested.***

ii. ***Fencing cannot extend past the front building line, nor beyond the side yard setback on corner lots per §14.16.08.A., however the Enforcement Officer may allow deviation to location and height requirements in accordance with §14.10.02.B.b.1.***

1. ***Indicate existing driveway south of Lot 1R (serving residence at 8218 Park Ave) on site plan to determine if obstruction is created by location of the proposed retaining wall in accordance with §14.10.13. Addressed; site plan revised to avoid possible obstructed view of the adjacent residential use existing to Park Ave.***

2. ***Indicate existing driveway south of Lot 11R (serving residence at 8217 Fairview Ave) on site plan to determine if obstruction is created by location of the proposed retaining wall in accordance with §14.10.13. Addressed; site plan revised to avoid possible obstructed view of the adjacent residential use existing to Fairview Ave.***

e. Schematic landscape plan showing proposed treatment of the areas designated as either buffers or private common open space. – ***proposed landscaping plan is insufficient on the basis of conditional approval of the applicants' variance request.***

i. ***Per condition of the approved variance to effectively reduce the front yard setback on Lot 1R and Lot 11R, enhanced landscaping shall be provided at 1 ½ times to landscape requirements, to buffer and screen commercial uses from adjacent residential uses and zoning districts, including additional perimeter and street-frontage landscaping along rights-of-way, streets, roads, or highways, to offset the reduced setback and promote visually pleasing commercial development.***

ii. ***Revise site plan to include all required perimeter, vehicular access, and buffering/screening requirements; dimension all landscape strips as required by Zoning Code §14.16.***

1. ***6' landscape strip is required between vehicular use areas, property lines and between ROW; dimension all landscape areas indicated on site plan in accordance with §14.16.06. Note: A minimum of 1 tree every 30 linear feet and 1 shrub every 5 linear feet is required, in addition to appropriate ground covers, grasses, etc.***

- a. *Lot 11R indicates a 5' landscape strip along the SW property boundary which fails to meet the minimum 6' landscape strip requirement as buffer between commercial and R-1.*
 - i. *If minimum landscape area requirements cannot be met, applicant must request an exception and provide justification to be reviewed by the Planning Commission per §14.16.09.E.*
- b. *Revise site plan to indicate continuation of the 6' landscape strip required to the west along the entirety of the south property line of Lot 1R. ~~Not addressed; revise plan to show continuation of a 6' landscape strip the entirety of the south property line to the west property line boundary on Lot 1R. Dense evergreen shrubbery must be provided.~~ Partially addressed; applicant revised plan detailing continuous evergreen shrubs to terminate at the west property boundary of Lot 1R. However, legend indicates the area to be a 4' landscape bed. Revise plan to capture the required 6' landscape strip.*

2. Site plan indicates the required 6' landscape strip/distance from R-1 property cannot be met at the SE corner of the Lot 11R. *~~Not addressed; applicant indicates the full 10'-7" to 5'-4" are on Lot 11R is landscape strip, however the area is inclusive of the proposed fence and retaining wall.~~*
 - a. *If minimum landscape area requirements cannot be met, applicant must request an exception and provide justification to be reviewed by the Planning Commission per §14.16.09.E. **Addressed;** applicant requests an exception to effectively reduce the landscape strip at the SE corner of Lot 11R to 5'-4" on the basis of site development requiring a retaining wall due to the size and existing grade of the subject site. *Request with accompanying justification requires review by the Planning Commission to deviate from the minimum landscape depth in the SE corner of Lot 11R.*
 - iii. *At minimum 5% of the interior of vehicular use area is required to be landscaped, e.g., planters/islands surrounded by concrete curb with no less than 80sf or based on percentage calculation of vehicular use area. There must be a minimum of 1 tree in each planter/island. **Addressed***
 1. *Note: 1 large planter containing all 5% of the required area is not permitted.*
 2. *Note: permitter landscaping provided for screening vehicle use areas does not constitute part of the interior landscape area coverage requirements.*
 - iv. *Provide a legend for proposed plantings to include type, species, and quantity of each proposed plant material in accordance with requested revisions. ~~Partially addressed; applicant must indicate the quantity of each proposed plant material in the provided legend.~~ **Addressed***
 - v. *Plantings proposed where C-2 property abuts R-1 shall be such to reach a minimum height of 6' within 3 years [for vehicular use areas §14.16.08.B] and shall be dense evergreen shrubbery screen to reach a minimum height of 8' and thickness of 5' within 5 years [for non-vehicular uses areas §14.16.08.E]. **Applicant must provide a General Note on the landscape plan to indicate the proposed plant material, adjacent to the residentially zoned property, will reach a minimum height of 8' and 5' thickness within 5-years.***
 - vi. *Indicate on landscape plan that all plantings shall be served by automatic irrigation, §14.16.06.D. **Irrigation not addressed; separate, revised landscape plan not provided.** **Addressed;** landscape plan indicates in General Note #1 the placement of an automatic irrigation system to serve 100% of all new landscaped areas on Lot 1R and 11R. Additional meter to serve the irrigation system indicated west of driveway access south E Kiehl Ave.*

STAFF REPORT

Application Type: Site Plan Review

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Planning Commission Meeting: 2/10/2026

vii. ~~Dumpster location was previously discussed to be closer or attached to the proposed restaurant on Lot 1R to achieve greater separation distance from abutting residual properties.~~

1. ~~Provide proposed materials for dumpster enclosure and indicate elevations on site plan, §14.16.08.C.~~

~~Not addressed; applicant indicates enclosure materials and elevations are provided but do not appear to be captured in revisions submitted 12/29/2025.~~ Addressed; applicant indicates an opaque 6' wood fence as dumpster enclosure material plan with a gated entrance on the site plan.

f. Location and dimension of all existing and proposed utility drainage, and street easements within the site.

Add additional easements and label easements by their intended use. **Addressed**

g. Proposed location of structures and structural dimensions, dimension distances between buildings, distances from structures to property lines, and building materials. **See below**

i. *Add all dimensions from building(s) to all property lines for Lot 1R and 11R.* **Partially addressed; applicant must indicate setback from both proposed new constructions on Lot 1R and Lot 11R to all property lines.**

ii. *Provide architectural elevations and listing of proposed exterior building materials in accordance with Zoning Code §14.10.10, adopted by Ordinance No. 2520 (staff to provide copy of Exterior Building Design Standards upon request), as part of the new SPL application for Lot 1R and 11R.* **Partially addressed; staff requires architectural elevations be submitted for the new construction proposed on Lot 1R in accordance with § 14.10.10 of the Zoning Code. Ensure a list of exterior building materials is provided with elevations.**

1. *Applicant submitted architectural elevations for the new construction proposed on Lot 11R. Revise elevations to indicate class material % for the primary, secondary and rear facades in accordance with § 14.10.10 of the Zoning Code.*

2. *Architectural elevations for the proposed new construction on Lot 1R are pending submission.*

2. ~~Topographical cross section map of the site and the location of the one hundred (100) year flood elevation if involved on the parcel of land.~~

3. Quantitative data including the following:

a. ~~Parcel size – add acreage to Lot 1R and 11R.~~ **Addressed; acreage for each lot indicated on site plan.**

b. ~~Proposed floor area of principal and accessory buildings.~~ **Addressed; applicant indicates new construction of 2,000sf for a HVAC use on Lot 1R and new construction of a 2,662sf a restaurant on Lot 11R.**

c. Proposed number of parking spaces. **Total Shared Parking Spaces Proposed: 26/2 ADA**

i. ~~Applicant indicates patron seating (58) + 6 employees', a minimum of 21 parking spaces is required for the restaurant proposed on Lot 11R.~~ **Not addressed; How was this figured? Fixed seating or sf of proposed structure? Provide interior floor/seating plan used for calculation as previously submitted.** ~~Addressed; site plan indicates an adequate number of parking spaces to accommodate the proposed restaurant use and associated employees conforming to the minimum parking space requirement of 21.~~

ii. ~~To confirm minimum parking requirements for Lot 1R the applicant must provide detailed description of proposed use.~~

1. ~~Use of "Office Equipment Sales and Service" is indicated for Lot 1R with a minimum parking requirement of 5 spaces.~~ **Detailed description of SubZero HVAC, as indicated in the application has not been provided.** ~~Addressed; applicant provided a narrative indicating the proposed HVAC to occupy the new construction on Lot 1R to be an office [2 office personnel], small storage area for parts and short term storage. The applicant indicates services and/or operation will not be offered from the subject property; work to be performed at service locations.~~

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202602.Lot 1R and 11R, Blk 2 Carroll Heights Sub

 SHERWOOD

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2. *Concluding review of the description of SubZero HVAC, staff has determined the use is best defined by Chapter 14.18 of The Zoning Code to be “Plumbing, Electrical, Air-conditioning or Heating Sales [Group 507]”, thus requiring minimum of 5 parking spaces. Site plan proposes an adequate number spaces to accommodate the proposed use on Lot 11R via a shared parking agreement.*
- iii. *Provide a general note indicating all parking space dimensions are consistent with the 1 dimensioned space indicating typical parking space dimension of 20'x9'. Addressed; applicant provided General Note #13 to satisfy staff comment.*
4. Engineering:
 - a. *Provide runoff calculations/pre- and post-drainage report. Not provided; city consulting engineer requires a complete and accurate grading and drainage plan for the site to determine the feasibility of the concept at this location given challenges presented by the lot and existing terrain. Addressed; city consulting engineer approves of the revised grading and drainage report provided.*
 - b. *What is the plan to capture runoff leaving the parking area at the SE corner of Lot 11R near the proposed retaining wall? City consulting engineer requires additional information for the proposed drainage structure at the SE corner of Lot 11R; applicant indicates runoff at this point will be directed to Fairview Ave.
 - i. *How much water does the proposed drainage structure carry in a 10-year storm? Addressed; applicant calculated maximum capacity at 6.3 CFS. City consulting engineer approves the proposed drainage structure.*
 - ii. *How much water is proposed to be dumped out at this location onto Fairview Ave during a 10-year storm? Addressed; applicant indicates the Lot 11R [± 0.37] acres will be drained toward Fairview Ave through the structure, resulting in runoff calculated by the applicant, at 1.9 CFS onto Fairview Ave during the 10-year storm event.**
 - c. *How will the site be graded where impact or cross over to adjoining property does not occur?
 - i. *City consulting engineer requires a grading plan that captures the NE corner of Lot 11R be provided [where the new sidewalk improvement maneuvers around existing utilities]. Will the sidewalk improvement meet ADA? Addressed; applicant provided an updated grading plan. Applicant indicates sidewalk improvement will follow the existing street grade with a maximum 2% cross slope. Per directive of the city consulting engineer, no additional modification to the plan required.*
 - ii. *NW corner of the new construction on Lot 1R details a $\pm 20\%$ grade from E Kiehl Avenue to the NW corner of the structure (contours 333, 332, 331, 330). It is likely the proposed design will pose drainage issues. Addressed; applicant indicates addition of a concrete flume on the plan avoid drainage issues placed under the sidewalk and directing runoff to Fairview Ave. Per directive of the city consulting engineer, no additional modification to the plan required.
 1. *Sidewalk improvement indicates a $\pm 20\%$ cross slope. Will this meet ADA? Addressed; applicant indicated the sidewalk improvement will follow existing grade and street with a maximum 2% cross slope. Per directive of the city consulting engineer, no additional modification to the plan required.***
 - d. *Provide engineering plans for the proposed retaining walls. Pending submission; applicant indicates retaining wall detail will be provided upon design. Note: any proposed retaining wall structure in excess of 4' in height requires full engineering design and calculations.*
5. Additional comments/information needed:

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202602.Lot 1R and 11R, Blk 2 Carroll Heights Sub

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- a. *Indicate site lighting on plan including location and fixture type. Pending submission; applicant must indicate on site plan the type and location of lighting fixture(s) proposed on site for staff review.*
- b. *Is the intended commercial subdivision subjected to phased development? Applicant confirmed phased development is not proposed across the commercial subdivision, rather concurrent development of Lot 1R and 11R.*
- c. *Correct street name of East Kiehl Road to East Kiehl Avenue. Ensure ROW is dimensioned from C/L of roadway to reflect that of recent ROW dedication. Addressed; ROW as presented on the site plan is accurate pending recordation of the Replat approved November 10, 2025.*
 - i. *Note: SPL approval contingent upon submission of the recorded replat.*
- d. *Has the Replat approved November 10, 2025 been filed with the County recorder? Applicant indicates the approved Replat will be filed with the County recorder upon finalized design of the commercial subdivision [see staff note above].*
- e. *Applicant must provide a detailed description of the use proposed for Lot 1R [SubZero HVAC] to ensure said use is permitted and to confirm minimum parking requirements.*
 - i. *SPL Review Note 1 indicates Lot 1R to contain an “Office Building” for “Office Equipment Sales and Services”. Additional information required. Applicant needs to provide a detailed description of services offered by “SubZero HVAC” to be conducted on Lot 1R. Will there be any level of technical operation (service vehicles, equipment, chemicals etc.) or only office space? Provided; applicant indicates in the response letter to staff the proposed HVAC business would be comprised of two (2) office spaces and a small warehouse to house parts and short-term storage of related HVAC goods.*
 1. *Note: Per §14.05.04.B.1., the utilization of outdoor space to store goods, equipment, vehicles, and other items used or sold by a business, whether temporarily or permanently, is not permitted outside of established normal hours of business operation. Applicant must provide a General Note to indicate acknowledgment of the minimum provision of the code for development in C-2.*
 2. *Are chemicals proposed to be storage on site? Where will service vehicles been storage outside of defined hours of business operation?*
- f. *Intent of the staff recommendation to request a variance concurrently with the site plan application for a reduced front yard setback was to promote a more uniform development pattern consistent with the existing structure on Lot 1R and the proposed improvements on Lot 11R along this portion of the E. Kiehl Ave corridor. The recommendation was not intended to provide the applicant with an opportunity to redevelop Lot 1R in a manner that would allow construction of a new building substantially larger or deeper than what would otherwise be permitted under the required 40' front yard setback. Applicant reduced the proposed new construction on Lot 1R from 3,000sf to 2,000sf to support redevelopment of Lot 1R.*
- g. *Provide auto-turn document to indicate trash collection and fire truck access and maneuverability on site. Partially addressed; applicant must finish auto turn document to capture fire truck maneuverability through site to accommodate fire apparatus access turnaround [see 1.c.iii.2].*
- h. *Note: this site plan has been reviewed for compliance with the minimum site requirements applicable to the proposed new construction development on Lot 1R and Lot 11R. Approval of this site plan does not grant or imply authorization for any specific business use or right to operate at this location.*

Waivers requested: *Applicant request a waiver to reduce the minimum landscape strip width/depth at the SE corner of the property to 5'-4" (as indicated in the latest revision).*

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202602.Lot 1R and 11R, Blk 2 Carroll Heights Sub



Planning Commission Meeting: 2/10/2026

Variances requested: *Variance approved at the January 13th, 2026, BoZA meeting to effectively reduce the front yard setback across Lots 1R and 11R to accommodate redevelopment of the commercially zoned properties.*

STAFF RECOMMENDATION

Staff recommends that the Planning Commission consider tabling the site plan to allow additional time for the applicant and staff to further address concerns related to a secondary access point, as well as to incorporate necessary holistic revisions to the site plan.



2601 T.P. White Drive
Jacksonville, AR 72076

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December 15, 2025

Mrs. Shelby Notias
City of Sherwood, Permits & Planning
2199 E Kiehl Avenue
Sherwood, AR 72120

RE: Final Plat– Camilla Acres , Sherwood, AR

Dear Mrs. Notias:

Attached are 5 copies of the revised final plat for the referenced project. This project is located at 6008 Jacksonville Cutoff Road and reflects the comments made at the October 2025 planning commission meeting.

This is an existing 1.54 acre tract of land that used to have a residential structure and associated driveways. We are requesting a 1-lot subdivision with a private drive.

The northern 0.68 acres is located within the regulatory floodplain. The established minimum base flood elevation (BFE) is 250.0.

On behalf of Sullivan Investment Property LLC, we are requesting to be placed on the January 2026 planning commission agenda for site plan approval.

Please feel free to call me if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Aaron Robinson'.

Aaron Robinson PE PS

cc: BCE # 10919
Mike Sullivan

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STAFF REPORT**Application Type:** Final Plat**Application:** FPL.202511.Camilla Acres**Planning Commission Meeting:** 1/13/2026**REQUEST**

The applicant is requesting final plat approval of a ± 1.54 acre site located on the north side of Jacksonville Cutoff Road. The applicant submitted a concurrent application for site plan review to allow duplex and triplex development in R-2.

OWNER/AGENT INFORMATION

Owner: Sullivan Investment Property LLC, PO Box 687, Jacksonville, AR 72078
Applicant/Authorized Agent: Bond Consulting Engineers

TECHNICAL SITE INFORMATION

Location/Parcel ID: 6008 Jacksonville Cutoff Rd, Sherwood, AR 72076
Parcel ID: 22S0220002502
Property Area: ± 1.54 acre (per plat)
Current Zoning: Multi-Family Residential (R-2)
Land Use Plan: Conservation Area (N-CON)
Surrounding Zoning/Land Use: North - Single Family Residential (R-1)/Conservation Area (N-CON)
South – Single Family Residential (R-1)/Institutional Campus (S-INS)
East - Single Family Residential (R-1)/Conservation Area (N-CON)
West - Single Family Residential (R-1)/Small Scale Multi-Family (S-MFR)

EXISTING CONDITIONS

The ± 1.54 -acre site is located north of Jacksonville Cutoff Road. The subject property is currently vacant, with the exception of an existing accessory structure remaining from previous use. It's estimated that half of the parcel lies within the 100-year floodplain (Zone AE). The property is zoned R-2.



PUBLIC NOTIFICATION

n/a

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Conservation Area (N-CON). Conservation Areas include environmentally sensitive areas such as floodplains/floodways, wetlands, or areas with slopes exceeding 20% intended for natural preservation and resource conservation. Development is not intended for these areas. Uses that have little or no impact on the surrounding areas or can be adequately mitigated, may be allowed.

MASTER STREET PLAN

The subject property is located on and has ~149.93' frontage along Jacksonville Cutoff Road.

Jacksonville Cutoff Rd: Minor Arterial (80' ROW)

Proposed Access Easement: 40' wide; 27' paved width

STAFF ANALYSIS

1. Proposal to create a one lot subdivision with a 27' wide private drive accommodated within a 40' wide Access Easement along the east property boundary. Lot frontage is defined as Jacksonville Cutoff which will be treated as the 25' front yard setback.
 - i. *Front building line setback subject to modification on the basis of additional ROW dedication requirement. See #7 below. Addressed*
 - ii. *The proposed Access Easement should be designated as a "Public Access Easement" since the intent is to reserve the drive for use by the general public, not just specific individuals or property owner(s). Addressed; 40' Public Access Easement indicated on plat.*
2. Provide draft Bill of Assurance, including provision for maintenance of proposed shared private improvements (driveway, infrastructure, etc.) *Provided; staff comments remain unaddressed.*
 - a. *Incorporate a mechanism for funding the maintenance of said private drive as a "Public Access Easement", including provisions to ensure maintenance costs are addressed in perpetuity by the owner.*
 - b. *As a "Private Access Easement", the owner responsible for maintenance must be named in the BoA, this captures the possibility of a POA or HOA (if applicable) being named the responsible owner of maintenance.*
 - c. *Applicant must correct enumeration captured in the BoA.*
3. Indicate distance (in linear feet along the street) to the nearest fire hydrant; new fire hydrant placement may be required.

STAFF REPORT

Application Type: Final Plat

Application: FPL.202511.Camilla Acres



Planning Commission Meeting: 1/13/2026

- i. *Fire hydrant placement required every 400' per Fire Marshal, with average spacing not to exceed 250'. Fire Marshal indicates the proposed new fire hydrant nearest the 20' fire apparatus turnaround must be moved south in closer proximity to Jacksonville Cutoff. Revise accordingly.*
4. *Define intent of the 20' shared ingress/egress easement and label accordingly. Is this to accommodate fire turnaround requirements? Addressed; Site plan indicates 20' shared ingress/egress easement to allow for the minimum AFPC fire apparatus access turnaround on site.*
5. *Applicant proposes development of a private road. Private roads must be developed in accordance with City of Sherwood Public Works Infrastructure Standard Details for applicable street classification. Capture street profile with plat submission: Provided*
6. Engineering
 - a. Will utility provider (Runyan Acres Sewer Improvement District) and ADH allow shared force main with individual pump stations at this location? *Pending; applicant has submitted plans to area provider and AHD. Provide Will Serve letters.*
 - i. *Have Will Serve Letters been received approved on the 10/28/2025 Water Plan submitted as part of the revised site plan application?*
 - b. *Provide calculations showing existing 2" water main will provide for domestic use of the proposed duplexes and that adequate fire protection can be achieved. Upgrade to the water main may be required. Pending; applicant has submitted plans to CAW for approval and approval of hydraulics. Pending determination from CAW. Provide Will Serve letter.*
 - i. *Have Will Serve Letters been received passed on the 10/28/2025 Sanitary Sewer Plan & Profile submitted as part of the revised site plan application?*
 - c. *Provide full set of construction plans for engineering review.*
 - d. *Sheet C.4 SPL.202601.Camilla Acres indicates private road appears to meet minimum standards (27' wide, curb and gutter, etc.).*
 - e. *Provide drainage analysis complete with pre and post development calculations. Provided; City of Sherwood contract engineer determined the increase in 10-year and 25-year storm runoff amounts are 4.9 cfs and 5.6 cfs. While these aren't negligible, the site does discharge directly into the floodplain of Bayou Meto. City contract engineer concludes that detention is not appropriate or needs to be required based on drainage analysis provided.*
 - f. *Additional permitting and development considerations will apply to the northern most 0.68 acres due to the presence of underlying 100-year floodplain, Zone AE. Site development is subject to floodplain regulations, including but not limited to elevation requirements, floodplain development permits, and potential limitations on buildable area to mitigate adverse impact. Acknowledged by applicant.*
7. *Jacksonville Cutoff Road is a Minor Arterial with a required 80' minimum ROW. Per code, 40' ROW dedication and half street improvement are required. Based on the dimension indicated on the final plat, additional ROW dedication is required to achieve 40' from street C/L, as required by the city's MSP. Indicate additional dedication of ROW. Addressed; plat indicates 40.06' ROW dedication from street C/L as required by the city's MSP.*
8. General:
 - a. *Error of closure NTE 1':5,000'. Add to General Notes; Not addressed*
 - b. *Revise Title Block adding Lot 1F before Camilla Acres*
 - c. *Indicate and label all easements by intended use.*
 - d. *Provide General Note on the Final Plat stating the following: "Based on the proposed development pattern and density and in accordance with the zoning code in effect at the time of approval, this site cannot be*

STAFF REPORT

Application Type: Final Plat

Application: FPL.202511.Camilla Acres



Planning Commission Meeting: 1/13/2026

further subdivided into additional lots." Said note should concurrently be applied to SPL.202601.Camilla Acres.

Waivers requested: ~~Applicant request a waiver of additional ROW dedication on the basis of existing conditions of the property and those surrounding~~. Planning Commission denied the applicant's request to waive the additional ROW dedication at the November 10th, 2025 meeting. Applicant has revised the plat to reflect a ROW dedication of 40.06' from the street C/L.

STAFF RECOMMENDATION

The applicant did not submit the requested revisions to the staff report by the established deadline. Staff recommends that the Planning Commission deny the Preliminary Plat application due to lack of action on the item.



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FAX 501.982.1530

www.bondce.com

December 15, 2025

Mrs. Shelby Notias
City of Sherwood, Permits & Planning
2199 E Kiehl Avenue
Sherwood, AR 72120

RE: Site Plan – Lot 1 Camilla Acres , Sherwood, AR

Dear Mrs. Notias:

Attached are 5 copies of the revised site plan for the referenced project based off the comments from the October 2025 planning commission meeting. This project is located at 6008 Jacksonville Cutoff Road and we are proposing the development of 2 separate duplexes and 2 separate triplexes and associated parking.

On behalf of Sullivan Investment Property LLC, we are requesting to be placed on the January 2026 planning commission agenda for site plan approval.

Please feel free to call me if you have any questions.

Sincerely,

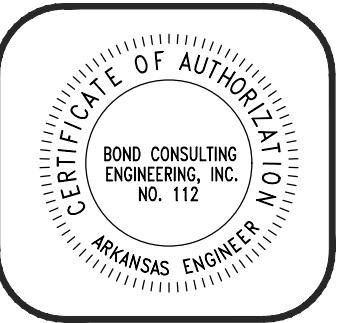
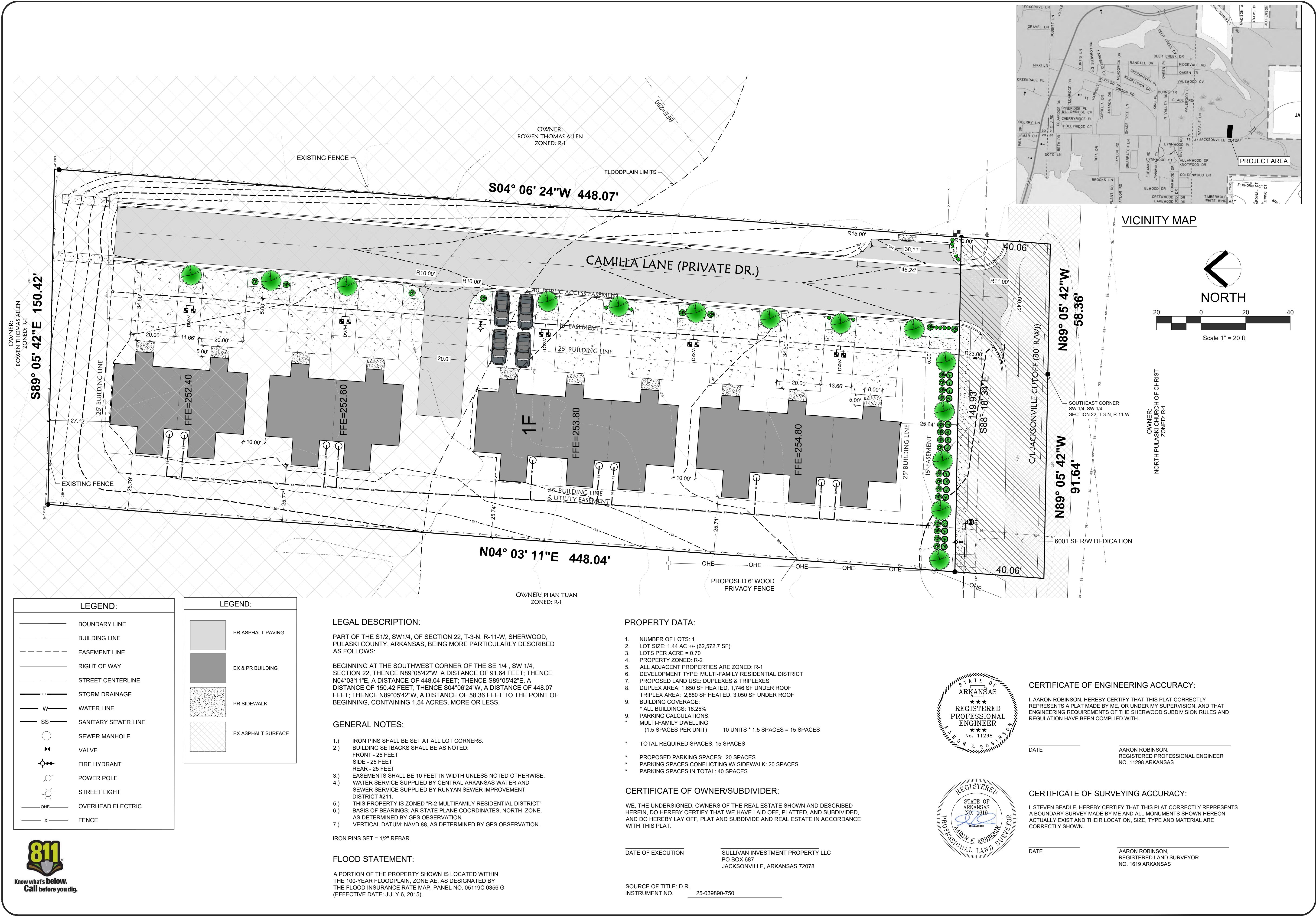
A handwritten signature in blue ink, appearing to read 'Aaron Robinson'.

Aaron Robinson PE PS

cc: BCE # 10919
Mike Sullivan

WATER • WASTEWATER • LAND PLANNERS • STORM WATER • SURVEYORS

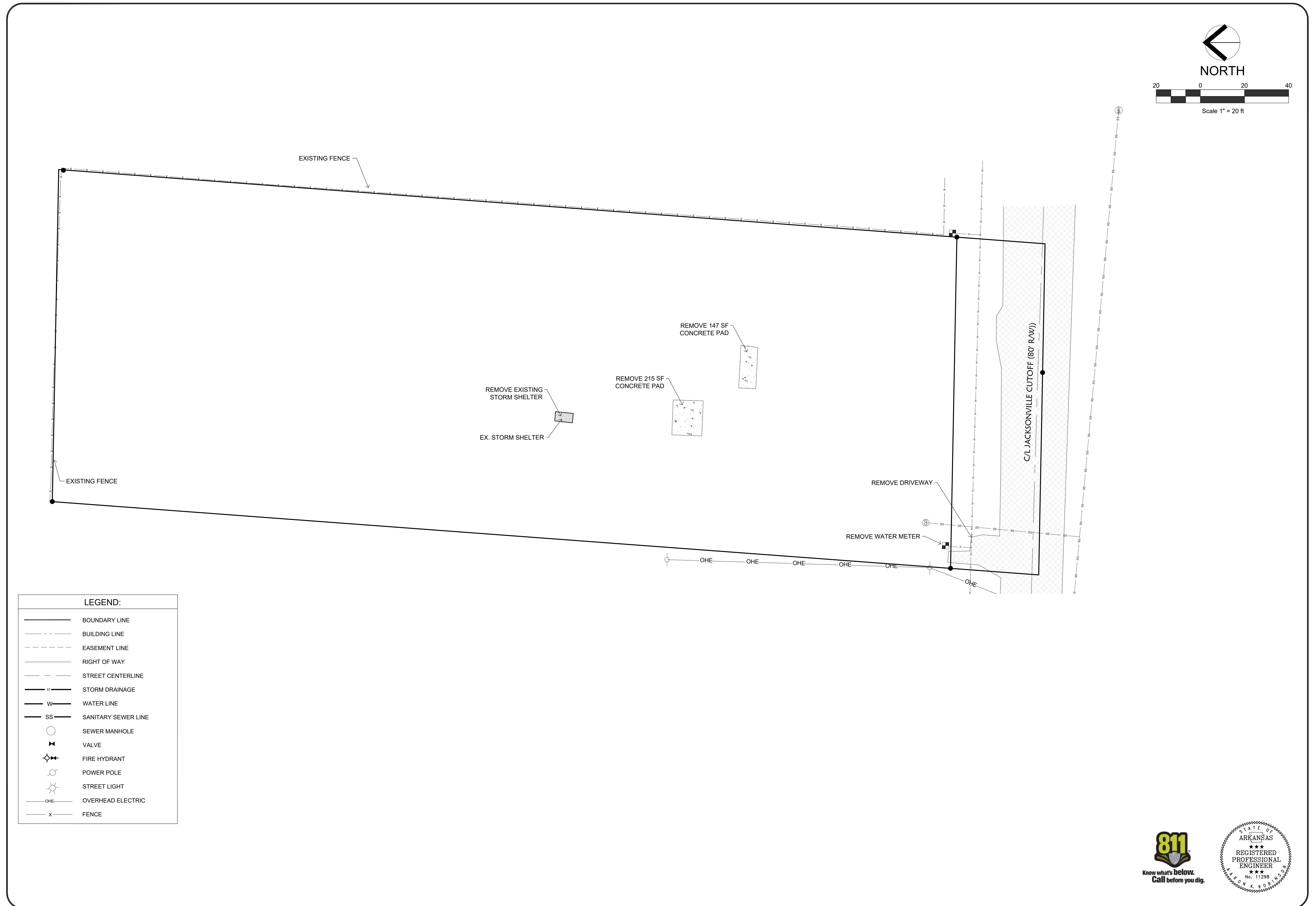
2601 T.P. White Dr. • Jacksonville, AR 72076
Business: 501-982-1538 • Fax: 501-982-1530
Website: www.bondce.com



SITE PLAN
LOT 1 - CAMILLA ACRES
SHERWOOD, PULASKI COUNTY, ARKANSAS

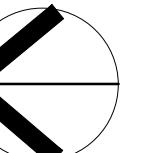
C1.1



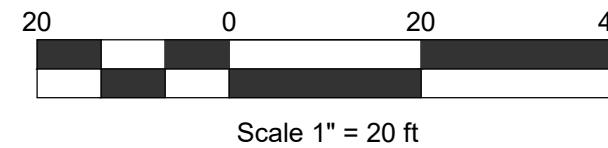


GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED THE RUYAN SEWER IMPROVEMENT DISTRICT #211 UTILITY STANDARDS AND CENTRAL ARKANSAS WATER (CAW) UTILITY STANDARDS AND THE ARKANSAS DEPARTMENT OF HEALTH STANDARDS.
- ALL SEWER SERVICES AND FITTINGS SHALL BE CLASS 160 PVC.
- SERVICES LINES SHOULD BE LOCATED TO CONFORM TO PLUMBING LOCATIONS ON THE MECHANICAL DRAWINGS.
- IN THE EVENT THAT THE MATERIALS LISTED ON THE PLANS AND SPECIFICATIONS DIFFER FROM THE STANDARDS FOR THE UTILITIES, THE SAID STANDARDS FOR THE UTILITIES SHALL BE USED.
- CONTRACTOR TO GIVE 48 HRS. NOTICE PRIOR TO STARTING CONSTRUCTION. A UTILITY REPRESENTATIVE MUST BE PRESENT WHEN THE CONTRACTOR TIES INTO AN EXISTING MANHOLE OR WATER LINE AND THE UTILITY MUST BE GIVEN A MINIMUM OF 48 HOURS NOTICE PRIOR TO THE CONNECTION OR BEGINNING OF CONSTRUCTION OF WATER & SEWER SERVICES.
- ALL WATER LINES, SEWER LINES, & FORCE MAINS SHALL HAVE TRACER WIRE INSTALLED.
- WATER AND SEWER SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH UTILITY STANDARD CONSTRUCTION SPECIFICATIONS.
- 12 GAGE TRACER WIRE REQUIRED ON WATER AND SEWER MAINS.



NORTH



Scale 1" = 20 ft

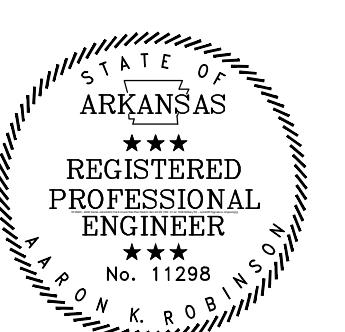
BOND CONSULTING ENGINEERS, INC.

2601 T P. White Drive
Jacksonville, Arkansas 72076
Phone: (501) 982-1538 Fax: (501) 982-1530 E-mail: arobinson@bondco.com

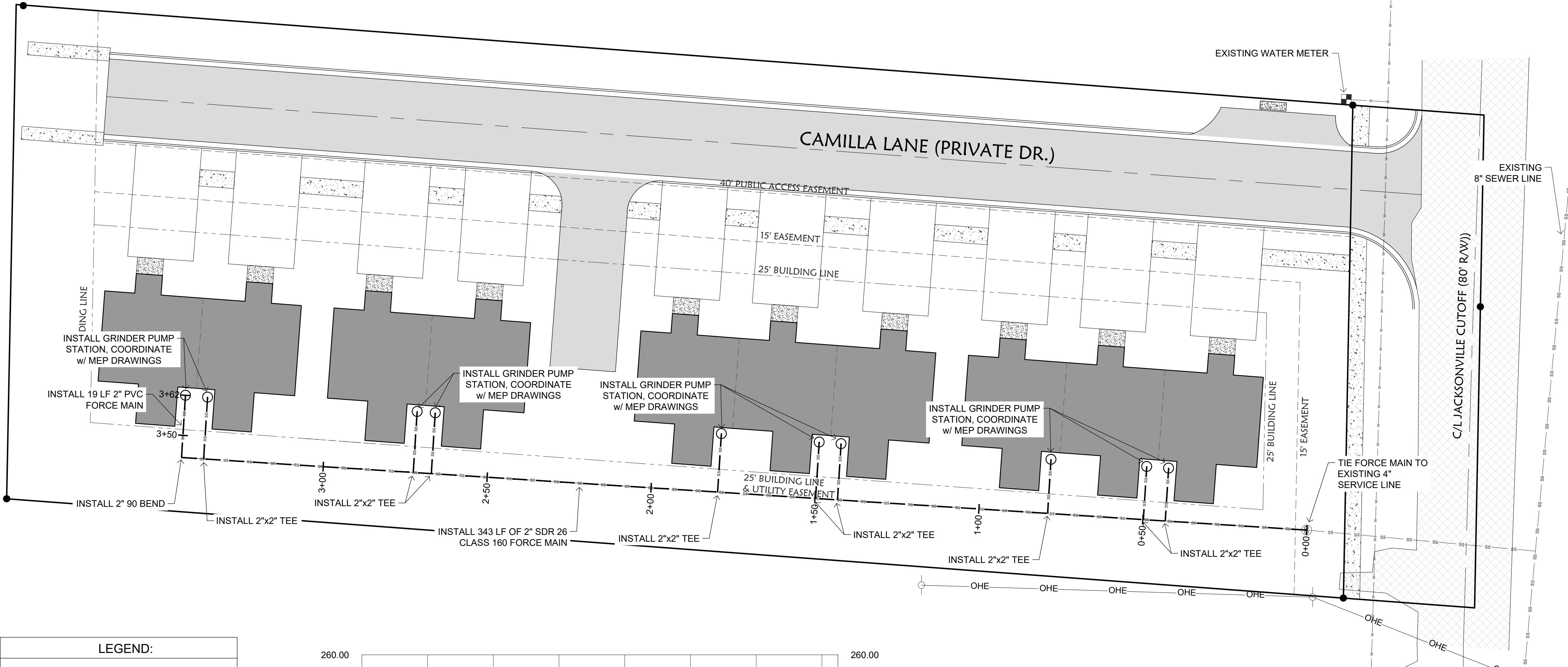
Prepared For:
Mike Sullivan
P.O. Box 687
Jacksonville, AR 72078

SAINTY SEWER PLAN & PROFILE
CAMILLA ACRES
SHERWOOD, PULASKI COUNTY, ARKANSAS

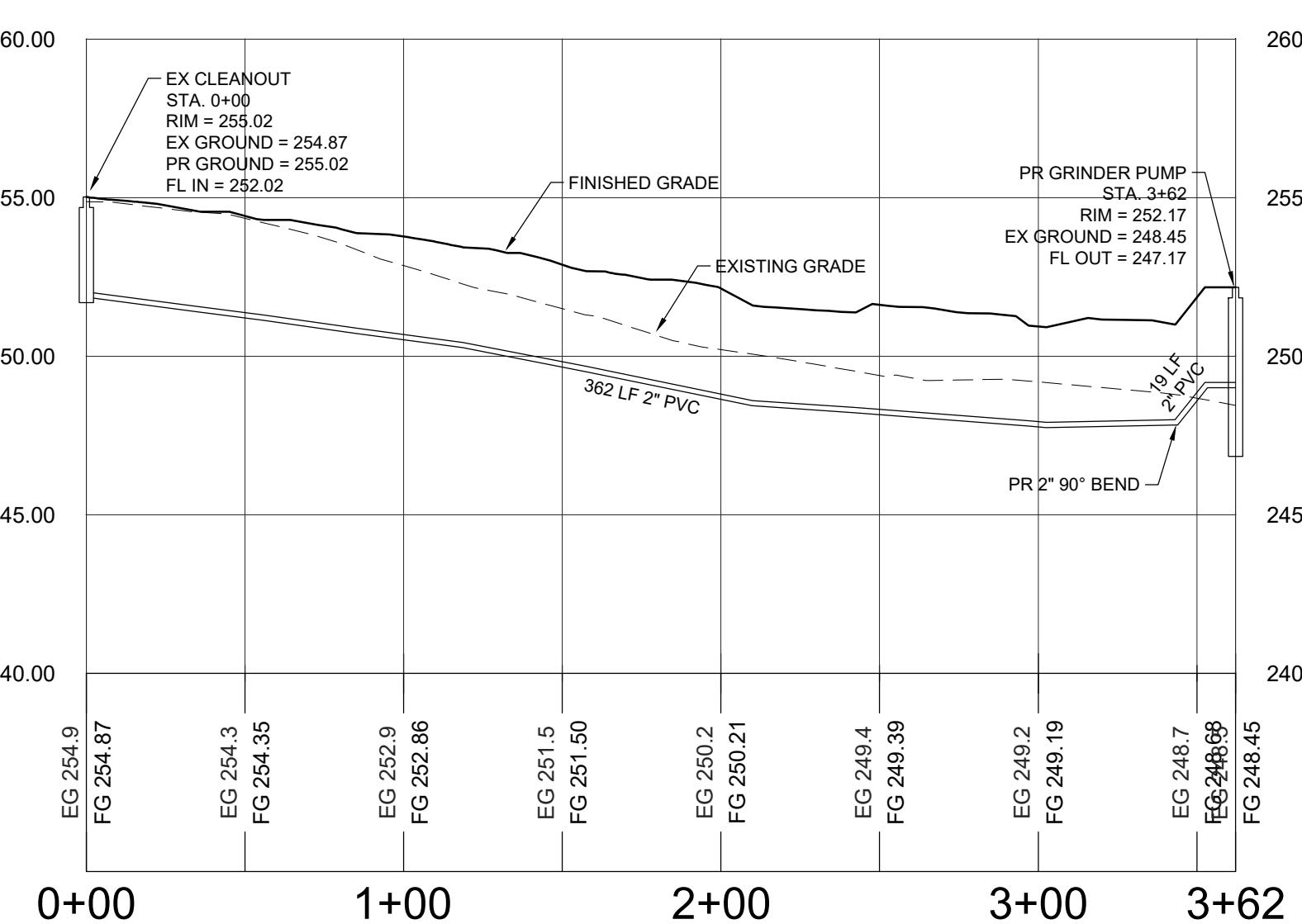
PROJECT: 10919
DATE: 10/28/2025
REVISIONS: 12/15/2025



C2.0



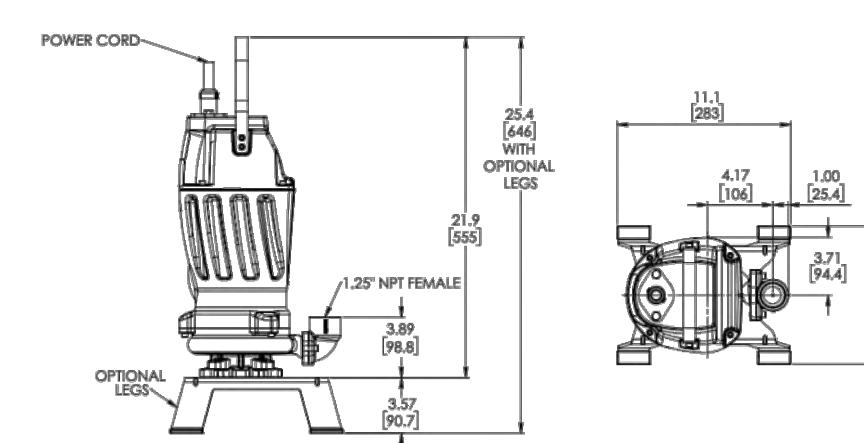
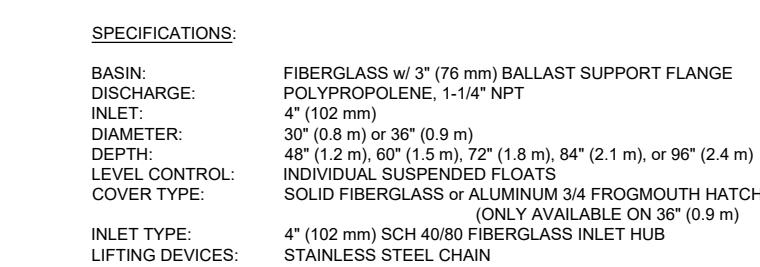
LEGEND:	
—	BOUNDARY LINE
- - -	BUILDING LINE
- - - -	EASEMENT LINE
—	RIGHT OF WAY
—	STREET CENTERLINE
— ST —	STORM DRAINAGE
— W —	WATER LINE
— SS —	SANITARY SEWER LINE
○	SEWER MANHOLE
■	VALVE
●	FIRE HYDRANT
■	POWER POLE
●	STREET LIGHT
— OHE —	OVERHEAD ELECTRIC
— X —	FENCE



PROFILE - SEWER FORCE MAIN - STA. 0+00 TO 3+62

SCALE: H: 1" = 50'
V: 1" = 5'

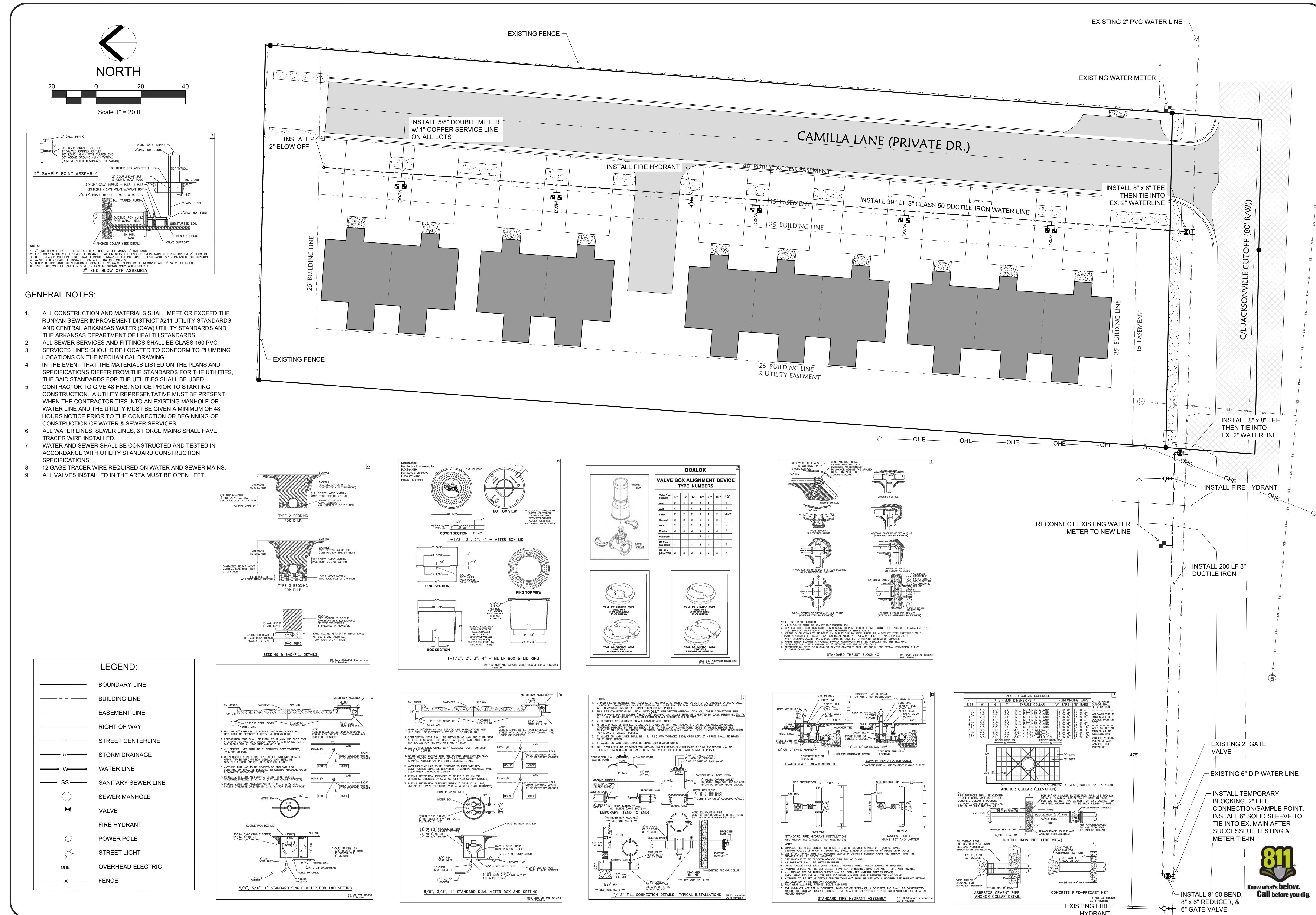
DETAIL - SIMPLEX GRINDER PUMP
FIBERGLASS BASIN



DETAIL - GRINDER PUMP



Know what's below.
Call before you dig.



BOND CONSULTING ENGINEERS, INC.
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Jacksonville, Arkansas 72076
Phone: (501) 982-1530 Fax: (501) 982-1530 E-mail: arobinson@bondo.com

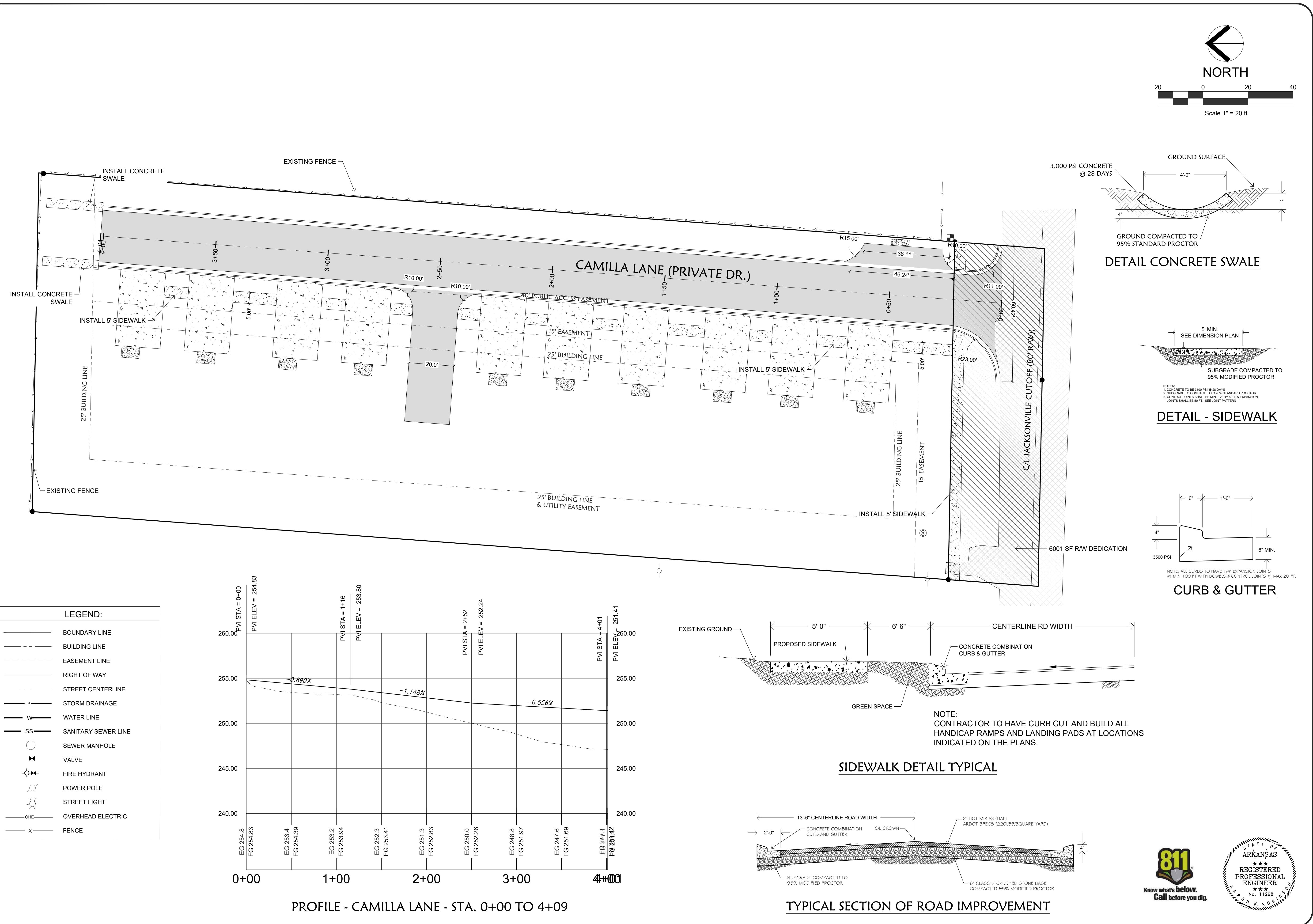
Prepared For:
Mike Sullivan
P.O. Box 687
Jacksonville, AR 72078

WATER PLAN
CAMILLA ACRES
SHERWOOD, PULASKI COUNTY, ARKANSAS

PROJECT: 10919
DATE: 10/28/2025
REVISIONS: 12/15/2025

811
Know what's below.
Call before you dig.
C3.0





**Know what's below.
Call before you dig.**

C4.0

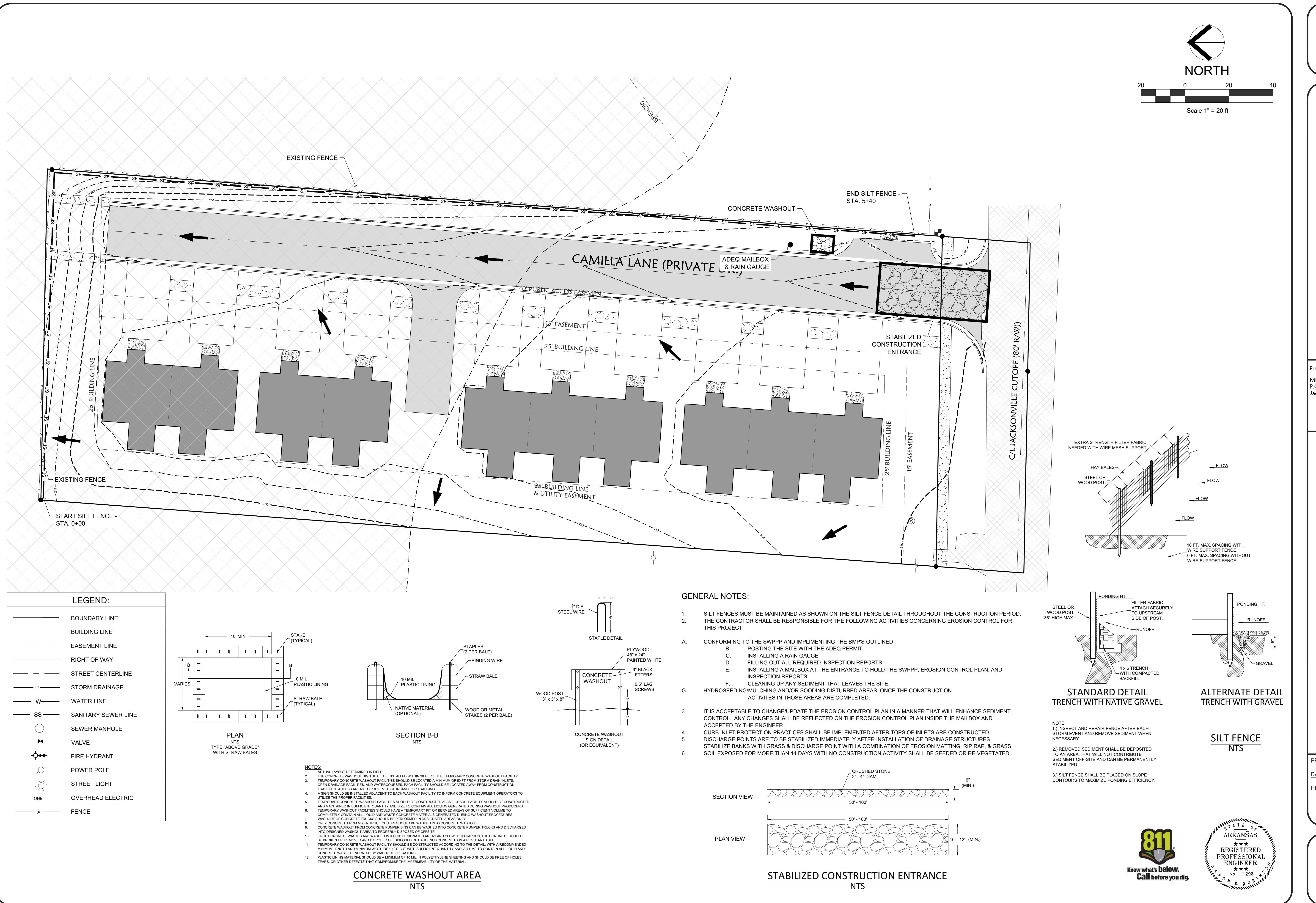
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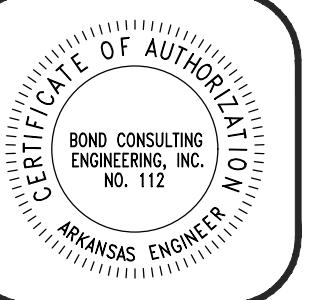
CAMILLA LANE PLAN & CAMILLA ACRYLIC SHERWOOD, PULASKI COUNTY

ured For:
Sullivan
Box 687
onville, AR 72078

BOND CONSULTING ENGINEERS, INC.
2601 T. P. White Drive
Jacksonville, Arkansas 72076
Phone: (501) 982-1538 Fax: (501) 982-1530 E-mail: arobinson@bondce.com

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SIONS 10/15/20





BOND CONSULTING ENGINEERS, INC.

2601 I. P. White Drive
Jacksonville, Arkansas 72076
Phone: (501) 982-1538 Fax: (501) 982-1530 **E-mail: arobbinson@bondce.com**

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LANDSCAPE PLAN CAMILLA ACRES SHERWOOD, PULASKI COUNTY, ARKANSAS

PROJECT: 109
DATE: 10/28/20

C6.0

A compass rose is shown at the top, consisting of a circle with a horizontal line through the center. A thick black L-shaped line is drawn from the top-left quadrant to the center, indicating the cardinal direction. Below the compass rose, the word "NORTH" is printed in large, bold, black capital letters. At the bottom, a horizontal scale bar is shown with tick marks and labels: "0", "20", and "40". The scale bar is divided into four equal segments by the tick marks, with the first segment being dark gray and the others white. Below the scale bar, the text "Scale 1\" data-bbox="211 811 521 851" data-label="Text">" = 20 ft is printed.

Scale 1" = 20 ft

Scale 1" = 20 ft

Landscape Improvements Schedule			
Section of the City of Sherwood			
General Landscaping (Min 6-Feet Wide)			
Number of Plantings	Right-of-Way Frontage Requirements	Tree Calculation	Shrub Calculation
per 30 LF R/W	150 Linear Feet	5 Trees	
per 50 LF R/W	150 Linear Feet		30 Shrubs
must be at least 2" caliper			
s			
in 1-gallon container size			
Symbol	Scientific Name	Common Name	Quantity
	Lagerstroemia Indica	Crepe Myrtle	14
TREES			14
Symbol	Scientific Name	Common Name	Quantity
	Ilex vomitoria "Nana"	Dwarf Yaupon Holly	36
	Santolina chamaecyparissus	Santolina	23
	Liriope spicata	Liriope	14
SHRUBS			73
or Landscaping			
less than 5% vehicular use area shall be landscaped			
0 SF Planter Area with 1 Tree per Planter			
ar Use Area	10,913 SF	0.05	Min 5%
Landscape Provided			946 SF
ndcovers			Quantity(sf)
ss			946
			0
ck			0

The diagram illustrates a cross-section of a tree planting site. A tree with a visible root ball is shown. A horizontal line labeled 'FINISHED GRADE' marks the top of the planting hole. Above this line, a 3-inch layer of bark mulch or river rock is applied. Below the 'FINISHED GRADE' line, the 'EXPOSED ROOT BALL' is shown, which is 4 inches above the ground surface. A vertical dimension line indicates the 3-inch mulch layer, and another indicates the 4-inch height of the exposed root ball above the finished grade.

BACKFILL WITH 1 PART
COMPOST TO 5 PARTS TOPSOIL



DETAIL - SHRUB PLANTING

The image contains two main logos. On the left is the 811 logo, which features the number '811' in large, bold, yellow digits with a black outline. Below the digits is a stylized illustration of a shovel and a pipe. Below the illustration, the slogan 'Know what's below. Call before you dig.' is written in a black, sans-serif font. On the right is the seal of a registered professional engineer from Arkansas. The seal is circular with a hatched border. Inside the border, the words 'STATE OF' are at the top and 'ARKANSAS' is in the center. Below that is a small rectangular box containing a map of Arkansas. The bottom half of the seal contains the text 'REGISTERED PROFESSIONAL ENGINEER' in a large, bold, black font. Below this, 'No. 11298' is written. At the bottom of the seal, the name 'AARON C. ROBINSON' is written in a smaller, black font.

The site plan illustrates the layout of Camilla Lane (Private Dr.) with the following key features and labels:

- EXISTING FENCE:** A line of 'x' marks indicating the location of an existing fence.
- INSTALL CLUSTER MAILBOX:** A callout pointing to a cluster mailbox location.
- CAMILLA LANE (PRIVATE DR.):** The name of the street, centered above the plan.
- 25' BUILDING LINE:** The outer boundary of the building footprint.
- EXISTING FENCE:** A line of 'x' marks indicating the location of an existing fence at the bottom left.
- 40' PUBLIC ACCESS EASEMENT:** A 40-foot wide easement area.
- 15' EASEMENT:** A 15-foot wide easement area.
- 25' BUILDING LINE:** The outer boundary of the building footprint.
- 25' BUILDING LINE & UTILITY EASEMENT:** The outer boundary of the building footprint and utility easement area.
- PROPOSED 6' WOOD PRIVACY FENCE:** A proposed fence line along the right boundary.
- OHE:** Overhead utility lines marked with circles.
- C/L JACKSONVILLE CUTOFF (80' R/W):** A callout pointing to a 80-foot wide cut-off area.
- Land Use Legend:** A legend on the right side defining symbols for trees, shrubs, and minimum requirements.

LEGEND:

—————	BOUNDARY LINE
————— - - -	BUILDING LINE
- - - - -	EASEMENT LINE
—————	RIGHT OF WAY
— - - - -	STREET CENTERLINE
————— ST —————	STORM DRAINAGE
———— W —————	WATER LINE
———— SS —————	SANITARY SEWER LINE
○	SEWER MANHOLE
◀▶	VALVE
○◀▶	FIRE HYDRANT
○	POWER POLE
○○○	STREET LIGHT
———— OHE —————	OVERHEAD ELECTRIC
———— X —————	FENCE

PLAN

8'-0" [2438MM] SECTION WIDTH CTR TO CTR
(16 BOARDS & 0 SPACES)

PLAN DETAIL (4X SCALE)

STEEL POST

2 X 4 FENCE RAIL

1 X 6 [25 X 152MM] FENCE BOARD

9 3/4" [248MM]

2'-3 1/4" [692MM]

2'-3 1/4" [692MM]

9 3/4" [248MM]

2'-6" [762MM]

2' [610MM]

6" [152MM] FENCE BOARD

2" [51 NOM]

OPTION POST C

1 X 4 [25 X 10MM]
OR 1 X 6 [25 X 152MM]

END VIEW

FENCE SECTION ELEVATION ***

10" [254MM]

STEEL EDGING

6" VARIES
REF. PLAN

3" MIN. LAYER BA
OR RIVER ROCK

BACKFILL WITH 1 PART
COMPOST TO 5 PARTS TOPSOIL

PLANT GROUNDCOVER ON
STAGGERED TRIANGULAR PATTERN

Technical drawing of a vertical file cabinet. The cabinet has a total width of $30 \frac{1}{2}''$ and a total height of $62 \frac{3}{4}''$. The left side panel is $17.9706''$ wide and $16 \frac{1}{4}''$ deep. The right side panel is $16 \frac{1}{4}''$ wide. The cabinet features a central vertical column of 12 drawers. The top two drawers are labeled 1 and 2, the middle two 3 and 4, the next two 5 and 6, the next two 7 and 8, and the bottom two 9 and 10. A small panel on the right side of the cabinet contains two small circles, one at the top and one at the bottom. The top of the cabinet has a rectangular cutout with four circular holes at the corners.

The diagram illustrates a tree support system with the following components and dimensions:

- Rubber Tubing / Hose**: A horizontal tube connected to the tree trunk.
- Tie Straps**: Straps used to secure the tubing to the tree trunk.
- STANDARD DOMESTIC STEEL 'T' POST PAINTED GREEN WITH WHITE REFLECTIVE TOP**: A vertical support post.
- 3" MIN. LAYER BARK MULCH OR RIVER ROCK**: A layer of mulch or rock around the base of the tree.
- 4" HIGH SAUCER**: A shallow depression at the base of the tree.
- FINISHED GRADE**: The level of the surrounding soil.
- EXPOSED ROOT BALL (CROWN OF ROOT BALL SHOULD BE 1" HIGHER THAN EXISTING GRADE)**: The root ball of the tree, which is higher than the surrounding grade.
- BURLAP / WIRE BASKETS (REMOVE TOP 1/3 FROM ROOTBALL)**: Baskets used to support the root ball.
- BACKFILL WITH 1 PART COMPOST TO 5 PARTS TOPSOIL**: The material used to fill the excavation.
- 12" MIN.**: Minimum distance from the base of the tree to the bottom of the saucer.
- 4'0" MIN.**: Minimum height of the support post.
- 2'0" MIN.**: Minimum depth of the excavation.
- 6"**: Depth of the saucer.

DETAIL - PRESSURE TREATED WOOD PRIVACY FENCE

DETAIL - CLUSTER MAIL BOX

DETAIL - TREE PLANTING

STAFF REPORT

Application Type: Site Plan Review
Application: SPL.202511 Camilla Acres



Planning Commission Meeting: 1/13/2026

REQUEST

Applicant request site plan review of a ± 1.54 acre lot containing 2 duplex structures and 2 triplex structures, yielding a total of ten (10) units. The applicant submitted a final plat application concurrently for approval.

OWNER/AGENT INFORMATION

Owner: Sullivan Investment Property LLC, PO Box 687, Jacksonville, AR 72078
Applicant/Authorized Agent: Bond Consulting Engineers

TECHNICAL SITE INFORMATION

Location/Parcel ID: 6008 Jacksonville Cutoff Rd, Sherwood, AR 72076
Parcel ID: 22S0220002502
Property Area: ± 1.54 acre (per plat)
Current Zoning: Multi-Family Residential (R-2)
Land Use Plan: Conservation Area (N-CON)
Surrounding Zoning/Land Use: North - Single Family Residential (R-1)/Conservation Area (N-CON)
South – Single Family Residential (R-1)/Institutional Campus (S-INS)
East - Single Family Residential (R-1)/Conservation Area (N-CON)
West - Single Family Residential (R-1)/Small Scale Multi-Family (S-MFR)

EXISTING CONDITIONS

The ± 1.54 -acre site is located north of Jacksonville Cutoff Road. The subject property is currently vacant, with the exception of an existing accessory structure remaining from previous use. It's estimated that half of the parcel lies within the 100-year floodplain (Zone AE). The property is zoned R-2.

PUBLIC NOTIFICATION

n/a

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Conservation Area (N-CON). Conservation Areas include environmentally sensitive areas such as floodplains/floodways, wetlands, or areas with slopes exceeding 20% intended for natural preservation and resource conservation. Development is not intended for these areas. Uses that have little or no impact on the surrounding areas or can be adequately mitigated may be allowed.

MASTER STREET PLAN

The subject property is located on and has ~149.93' frontage along Jacksonville Cutoff Road.

Jacksonville Cutoff Rd: Minor Arterial (80' ROW)

Proposed Access Easement: 40' ~~40' available paved width~~

STAFF ANALYSIS

1. Scaled site plan: *Site plan review of 1 lot containing 5 duplex structures – 10 dwelling units; correct Property Data notes through, which still reflect lot configuration. Applicant revised the site plan of Lot 1F containing 2 duplex structures and 2 triplex structures.*
 - a. Graphic scale: **Provided**
 - b. Proposed lot lines. **Provided**
 - c. Existing and proposed vehicular and pedestrian circulation systems including streets, alleys, walkways, service areas and loading areas, the location and arrangement of off-street parking areas and all points of vehicular ingress and egress. **Partially addressed**
 - i. *Sidewalk detail provided on Sheet C4.0 indicating a minimum 5' sidewalk proposed [for Jacksonville Cutoff Rd] as part of half street improvements.*
 - ii. *Revise plan to indicate required sidewalk improvement and green space on the west side of Camilla Lane in accordance with STD-30. Given limited parking configuration options driven by the site, staff would recommend the applicant revise the drawing to capture sidewalk at back of curb to reduce likelihood of vehicle stacking in driveways blocking continuous sidewalk access. Staff supports modification to remove required greenspace to ensure sidewalk improvement functions as intended.*
 - iii. *Modify plan and street profile to capture continuation of curb and gutter extending to the western property boundary. Not addressed*
 - d. Proposed perimeter treatment of the property, indicating screening materials to be used including fences, walls, and plant materials together with a description of uses, setbacks and their proposed relationship to surrounding areas.
 - i. *Provide elevations of existing and/or proposed perimeter treatment, including proposed fence materials. Not addressed; see #1.e [below].*
 - e. Schematic landscape plan showing proposed treatment of the areas designated as either buffers or private common open space. **Landscape plan is insufficient.**
 - i. *Where R-2 zoning abuts R-1 zoned property, dense evergreen shrubbery shall be installed. For vehicular use areas, the shrubbery shall attain a minimum height of six (6) feet within three (3) years. For non-vehicular use areas, the shrubbery shall attain a minimum height of eight (8) feet and a minimum thickness of five (5) feet within five (5) years. In addition, a six-foot (6') opaque wall or fence shall be installed along the west, north, and east property boundaries in conjunction with the required dense evergreen shrubbery.*

STAFF REPORT

Application Type: Site Plan Review
Application: SPL.202511 Camilla Acres



Planning Commission Meeting: 1/13/2026

- ii. *Provide existing and proposed fence material and capture elevation for Planning Commission review/approval on the site plan.*
- iii. *Provide legend indicating species of the proposed plants and proposed number of each in accordance with Zoning Code § 14.16.06. Partially addressed; update legend to capture the required increase in the proposed number of planting materials along the west, north and east property boundaries.*
- f. Location and dimension of all existing and proposed utilities, drainage, and street easements within the site.
 - i. *Indicate existing and proposed utilities on the subject property and provide use. Capture linework in legend.*
- g. Proposed location of structures and structural dimensions, dimension distances between buildings, and distances from structures to property lines.
 - i. *Per AFPC, a minimum separation distance of 10' is required between duplexes. If this separation cannot be achieved, staff recommends including a note in the General Notes section indicating that a code-compliant rated firewall will be constructed upon development. Addressed*
 - ii. *Dimension distance of proposed structures to property lines. Addressed*

2. A topographical cross section map of the site ~~and the location of the one hundred (100) year flood elevation the parcel of land. Provided; ~0.68 acres of the subject property is located within the 100-year floodplain, Zone AE.~~

- a. *Additional permitting and development considerations will apply to the northernmost 0.68 acres due to the presence of underlying 100-year floodplain, Zone AE. Site development will be subject to floodplain regulations, including but not limited to elevation requirements, floodplain development permits, and potential limitations on buildable area.*
 - i. *All proposed structures must achieve a FFE of 2' above the established BFE. Applicant must utilize the FEMA FIS to determine the BFE for each structure proposed in the 100-year floodplain. Indicate on the site plan the determined BFE in conjunction with the FFEs.*

3. Quantitative data including the following:

- a. Proposed building coverage of principal and accessory buildings. *Provided; applicant provided calculations stating coverage on the subject property at built condition to be limited at 16.25%.*
- b. *Parcel size. Addressed with 1-lot configuration*
- c. Proposed floor area of principal and accessory buildings. *Addressed; 1 duplex/1746 sf under roof and 1 triplex/3,050 sf under roof.*
- d. Proposed number of parking spaces. *Provided; applicant indicates 40 total proposed parking spaces. 20 parking spaces conflict with required sidewalk improvement when vehicles stack in driveways [see 1.c.ii.].*
 - i. *Staff request signage to indicate "No On-Street Parking" on Camilla Lane be captured on the site plan. Revise site plan and indicate proposed signage location and elevation.*
- e. A registered land survey showing the exact property or boundary lines, including a legal description of the total site for development, including a statement of present ownership.

4. Engineering (anticipate additional comments from Engineering)

- a. *Engineering approval of construction drawings required prior to the commencement of any site work.*
- b. *See FPL.202511 Camilla Acres for additional engineering comments related to drainage, capacity of utilities, etc.*
- c. *Provide updated drainage analysis complete with pre and post development conditions.*

5. Operational questions/concerns:

- a. General:
 - i. *Add General Notes for items not labeled on plan.*

STAFF REPORT

Application Type: Site Plan Review
Application: SPL.202511 Camilla Acres



Planning Commission Meeting: 1/13/2026

- ii. *Add/correct legend for all linework and symbols.*
- iii. *Correct Property Data note 3.*
- b. Fire (anticipate additional comments from Fire Marshal):
 - i. Indicate distance (in linear feet along the street) of nearest fire hydrant(s). Ensure existing line capacity is sized appropriately to handle placement of a new hydrant (*see **FPL.202511.Camilla Acres**). **Fire Marshal indicates the proposed new fire hydrant nearest the 20' fire apparatus turnaround must be moved south in closer proximity to Jacksonville Cutoff.**
- c. Exterior:
 - i. *Provide architectural elevations inducing proposed exterior building materials. **Provided with prior iteration of the site plan application/iterations. Are there anticipated modifications to the exterior building materials than previously presented with the application?***
 - ii. *Indicate site lighting on plan, location and fixture type.*
- d. As a private drive, how is trash collection proposed? *Not addressed; Ordinance 1835 requires trash containers be placed behind the curbline of a public street; collection from a private drive is not permitted. Staff recommends the applicant obtain a Will Serve letter from the Sherwood Public Works Department confirming individual roll container collection from the Jacksonville Cutoff ROW. If this determination is not feasible, staff recommends the site be reconfigured to include a centralized dumpster location that meets minimum enclosure and screening standards. Provide proposed materials for dumpster enclosure and elevations of enclosure if this option is utilized and/or required.*
- e. *Provide General Note on the site plan stating the following: "Based on the proposed development pattern and density and in accordance with the zoning code in effect at the time of approval, this site cannot be further subdivided into additional lots." Said note should concurrently be applied to **FPL.202601.Camilla Acres**.*
- f. *Staff recommends the "cluster mailbox" align with the 20' fire apparatus access turnaround to reduce possible conflict with vehicle maneuvering, e.g., traffic conflicts with vehicles delivering/picking up mail and other traffic entering or leaving the subject property, etc.*

STAFF RECOMMENDATION

The applicant did not submit the requested revisions to the staff report by the established deadline. Staff recommends that the Planning Commission deny the Site Plan application due to lack of action on the item.