



Planning & Engineering
31 Shelby Road
PO Box 6256
Sherwood, AR 72124-6256
Phone: (501) 835-4753
Fax: (501) 392-0088

January 6th, 2026

Re: January Planning Commission Meeting

To Whom It May Concern,

On January 13th, 2026, at 6:00 PM the Sherwood Planning Commission will hold a public, live-streamed meeting to hear the following agenda items:

1. Site Plan for Lots 1R and 11R, Carroll Heights Subdivision. Thomas Engineering, Agent.

If you are unable to attend the meeting and would like to comment on an item, please send your comment via email with your name and address to planning@sherwoodar.gov before Monday, January 12th, 2026, at 4:30 PM. Please note that these comments will be read aloud in the public meeting and should be clear and concise regarding the item. To watch the live-streamed meeting, please go to <https://www.cityofsherwood.net/watchnow>.

Regards,

Corey Drake
Planning Commission Secretary

Sherwood Planning Commission Agenda

January 13th, 2026 – 6:00 PM

2201 E. Kiehl Avenue, Sherwood, AR 72120

Blake Martin, Chairman

Agenda Items

1. Call to Order
2. Roll Call
3. Approval of December 9th, 2025, Meeting Minutes
4. Approval of the Agenda
5. Election of Chairman
6. Election of Vice-Chair
7. Site Plan for Lots 1R and 11R, Carroll Heights Subdivision. Thomas Engineering, Agent.
8. Discussion: T. Rick's Service Station
9. Old Business
 - Preliminary Plat of Camilla Acres. Bond Engineering, Agent.
 - Site Plan for Camilla Acres. Bond Engineering, Agent.
10. New Business
 - 2025 Planning Commission Report
11. Adjournment

Sherwood Planning Commission Minutes

December 9th, 2025 – 6:00 PM
2201 E. Kiehl Avenue, Sherwood, AR 72120
Blake Martin, Chairman

Agenda Items

1. Call to Order
2. Roll Call
 - Dozier (absent)
 - Hoskyn
 - Evans-Delrie
 - Patel
 - Clough
 - Martin
 - Williams
3. Approval of November 10th, 2025, Meeting Minutes
 - Hoskyn made a motion to approve the meeting minutes.
 - Patel seconded the motion.
 - Unanimous roll call to approve the minutes.
4. Approval of the Agenda
 - No changes were made to the agenda.
5. Planned Unit Development of Woodruff Heights. Phillip Lewis Engineering, Agent. [Public Hearing]
 - Shelby Notias, City Planner, explained that there was no staff recommendation as the application was considered incomplete due to the number of outstanding items still requiring attention and revisions. She explained that a drainage report would be required as well.
 - Ms. Notias stated that the applicant was requesting to table the item but that there were a considerable number of public commenters present to speak to the item.
 - Chairman opened the public hearing.
 - Corey Drake, Planning Commission Secretary, read a submitted comment from Rebecca White who lives at 423 E. Lee Avenue. Ms. White opposed the development for various reasons.
 - Secretary read a submitted comment from Kevin Pfeiffer who resides at 5 Overton Cove. Mr. Pfeiffer opposed the development for various reasons.
 - Secretary read a submitted comment from Shirley Benda who resides at 416 E. Lee Avenue. Ms. Benda opposed the development for various reasons.
 - Secretary read a submitted comment from Robert Osborne who resides at 404 E. Lee Avenue. Mr. Osborne opposed the development for various reasons.

- Dean Freeman, 1 Overton Cove, spoke against the development as the dumpsters would be placed too close to his property. He stated that the odors would have a negative impact on him as well as the noise from garbage being collected. He stated that the planning was inconsiderate as it would increase the flooding in the area, specifically in the ditch in his yard. He stated that the property being considered for development is uphill from him and would increase the flooding on his property. He stated that this proposal violates Ordinance 2065 which prohibits construction that contributes to worsened flooding. He stated the item should be denied and not tabled.
- Ashley Greer, 502 E. Lee Avenue, spoke against the development. She spoke to concerns over dumpster location, detention pond location, and issues with the proposed driveway location. She stated that no one wanted to see six-foot-tall fencing or smell dumpsters. She stated that the property was denied in 2022 for flooding and that the applicant had not provided anything to show change in the flooding. She stated that the application states financial reasons for applying for a PUD which undermines Section 14.04.02. which states PUD cannot be used as a method of avoiding zoning regulations. She stated concern with R-2 zoning being placed in the middle of residential properties. She stated that the clubhouse and walking trail amenities were not for public benefit. She stated that new flat surfaces would channel more into the floodway and would be compromised by federal NFIP regulations and 44 CFR Section 60.3 which requires that development in flood hazard areas not increase flood hazards. She stated concern over emergency staff reaching homes during floods and that no studies had been submitted to prove the development complies with flood regulations. She stated that there is a sewer lid ajar downstream from this property that indicates pressure on the line after rain. She stated that adding more lines would increase concern for the sewer line. She stated that these issues raise concern about required studies being performed and if flood impacts are being evaluated city wide. She stated that the PUD should not be tabled and should not be approved.
- Mark Osborne, 525 E. Lee Avenue, spoke against the development. He stated that the proposed development abuts his property. He stated that the last time this property came before the Planning Commission, it was voted down by every member of the Commission. He spoke to increased flooding from when Walmart was built and that if true water analysis was done, it would be determined that nothing could be developed on the subject property. He stated the flooding has gotten worse and East Lee is shut down multiple times from flooding. He stated that the barricades often wash away and he is concerned for his neighbors. He stated that approving this development bends rules and he does not agree with it. He stated it should be denied and not tabled.
- Rick Shockley, 101 Regan Road, spoke against the development. He explained that the area has flooded since Walmart was built in Sherwood. He stated he had spent his own money paving Regan Road, and it washed away. He reiterated that Regan Road is in poor condition. He stated concern over the elevation difference and how the property being developed would affect his own property. He stated that the City regularly places barricades when this area floods and any increase in density would directly accelerate stormwater discharge and cause other issues. He spoke about issues with the PUD as opposed to R-2 development. He spoke to large boulders being washed down the creek and clogging the drains near his property. He stated concerns over removing the trees on the subject property and that no studies had been presented nor had any hydrology studies been completed. He stated this leaves the Commission without essential

information and that approving the PUD without this information would be premature. He stated that the area is largely residential and the PUD would be considered spot zoning. He spoke further to environmental concerns if the subject property was developed. He stated that the rezoning had no public interest and neither of the proposed amenities were sufficient. Mr. Shockley stated concern over emergency services reaching the area with increased flooding. He stated the item should be denied and not tabled as a proposal for this property had been denied previously.

- Nick Sanders, 2 Overton Cove, stated concern with the development as it was close to his property and he would end up dealing with the lights and traffic. He stated that he agreed with what previous commenters brought up.
- Hoskyn asked if the Chairman was on the Commission when the previous proposal was voted on.
- Chairman confirmed he was on the Commission.
- Hoskyn asked if any rainwater data was presented in 2022.
- Chairman stated that no data had been provided.
- Hoskyn stated that he didn't know what could be presented to change the reality of the situation as nature has created this large water issue. He stated that tabling the item would just kick it down the road.
- Clough agreed.
- Evans-Delrie stated that the Land Use Plan indicates Conservation and is not intended for development. He concurred with Hoskyn and Clough that there was likely nothing that could be provided to improve the situation.
- Phillip Lewis, Phillip Lewis Engineering, spoke to the item as the applicant. He stated that they were asking to table the item to go back and work on the site plan to combat the concerns presented.
- Mr. Lewis clarified that it was his responsibility to ensure and certify that the development would not increase stormwater runoff. He stated that they have done design and studies on the property and usually those come before the building permit. He stated that they've done drainage calculations and based the detention pond off those. He stated no work would be done in or to the creek.
- Mr. Lewis stated that the PUD would obviously not be approved unless the application satisfied requirements and was approved by City engineering as well. He clarified that they would not be going in to dump more water into the creek.
- Hoskyn asked if the retention pond was what would prevent increased runoff. He asked if the retention pond was not present if the runoff would increase.
- Mr. Lewis confirmed that the retention pond is the plan in place to not increase runoff. He stated that he would not do the design without the retention pond as he would not sign off on something like that. He reiterated that there are requirements in place that engineers have to certify their plans meet.
- Mr. Lewis agreed that stormwater detention has become an issue all over as storm intensity has increased.
- Chairman stated that if the item was tabled, the public hearing would be held open until the following month.
- Hoskyn made a motion to deny the request for the Planned Unit Development.
- Clough seconded the motion.

- Chairman closed the public hearing.
- Hoskyn, Evans-Delrie, Clough, Martin, and Williams voted to deny the Planned Unit Development for Woodruff Heights on East Kiehl Avenue. Patel abstained.
- Planned Unit Development for Woodruff Heights was denied in a 5-0-1 vote.

6. Rezone request at 10403 Highway 107 from R-1 to C-3. Maan El Hajari, Owner. [Public Hearing]

- Shelby Notias, City Planner, detailed the rezoning request. She stated it is currently zoned and used for a residence, but the applicant is requesting to rezone for commercial zoning. She stated that staff recommend approval as submitted.
- Chairman opened the public hearing.
- Hearing no comments, the public hearing was closed.
- Clough made a motion to approve the rezone.
- Patel seconded to motion.
- Unanimous roll call to rezone the property at 10403 Highway 107 from R-1 to C-3.

7. Old Business

- Preliminary Plat of Camilla Acres. Bond Engineering, Agent.
 - Ms. Notias stated the applicant requested to table the item.
 - Evans-Delrie made a motion to table the preliminary plat.
 - Clough seconded the motion.
 - Unanimous roll call to table the preliminary plat.
- Site Plan for Camilla Acres. Bond Engineering, Agent.
 - Ms. Notias stated the applicant requested to table the item.
 - Evans-Delrie made a motion to table the site plan.
 - Clough seconded the motion.
 - Unanimous roll call to table the site plan.

8. New Business

9. Adjournment

- Clough made a motion to adjourn.
- Patel seconded the motion.
- Unanimous roll call to adjourn.

PASSED AND ADOPTED THIS _____ DAY OF _____, 20_____.

PLANNING COMMISSION CHAIRMAN

PLANNING COMMISSION SECRETARY

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202601.Lot 1R and 11R, Blk 2 Carroll Heights Sub



Planning Commission Meeting: 1/13/2026

REQUEST

The applicant is seeking site plan approval for a two-lot commercial subdivision. The proposal includes construction of a new ~3,000 square foot HVAC business on Lot 1R and a new ~2,662 square foot restaurant on Lot 11R. The development proposes shared site access from E Kiehl Ave via Lot 1R and shared parking, located on Lot 11R. This application is submitted concurrently with a variance request to allow a comprehensive reduction of the required front yard setback on Lots 1R and 11R, Block 2, Carroll Heights Subdivision.

OWNER/AGENT INFORMATION

Owner: McAdams Lie Kianho/Austin/McAdams Judith/William, 8924 Stillwater Road
Sherwood, AR

Applicant/Authorized Agent: Thomas Engineering

TECHNICAL SITE INFORMATION

Location/Parcel ID: 1800 E Kiehl Ave
Parcel ID: 23S0180000700
Property Area: ±0.73 acre (*per Pulaski Co Assessor*); ±0.68 (*per replat*)
Current Zoning: Light Commercial (C-2)
Land Use Plan: Office/Buffer Area (S-OFF)
Surrounding Zoning/Land Use: North – General Commercial District (C-3)/Commercial Corridor (S-COR)
South – Single Family Residential (R-1)/Suburban Single Family (S-SFR)
East - Single Family Residential (R-1)/Suburban Single Family (S-SFR)
West - Single Family Residential (R-1)/Office/Buffer Area (S-OFF)

EXISTING CONDITIONS

Lot 1R is developed with a one-story 1,080 sf non-residential structure previously used as a hair salon; said structure is nonconforming on the basis of the significant building encroachment into the 40' front yard setback. Lot 11R is undeveloped.

PUBLIC NOTIFICATION

n/a

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Office/Buffer Area (S-OFF). Areas include a mixture of office, light commercial uses and various housing types including duplexes, small-scale multi-family, single-family-attached homes, and single-family detached homes. The districts typically represent areas in transition from single-family residential to more intensive uses or areas which office and limited commercial is most appropriate. **Within these transitional areas, a great deal of care is warranted in order to balance the pressure to allow more productive uses with the need to protect existing property owners.**

MASTER STREET PLAN

The subject properties are located on E Kiehl Ave with ~254.34' of direct frontage. Lot 11R has ~136.34' of frontage on Fairview Avenue to the east and Lot 1R containing ~98.66' of frontage on Park Avenue to the west.

E Kiehl Avenue

Minor Arterial (80' ROW)

Fairview Avenue: Local (50' ROW)
 Park Avenue: Local (50' ROW)

STAFF ANALYSIS

1. Scaled site plan, including:
 - a. Graphic scale. **Provided**
 - b. Proposed lot lines. **Provided**
 - c. Existing and proposed vehicular and pedestrian circulation systems including streets, alleys, walkways, service areas and loading areas, the location and arrangement of off-street parking areas and all points of vehicular ingress and egress.
 - i. *Applicant indicates a single point of ingress/egress to access the commercial subdivision utilizing the existing driveway on E Kiehl Ave.*
 - ii. *Applicant must execute a shared access and parking agreement between Lots 1R and 11R, as required prior to issuance of a building permit.* #WILL BE EXECUTED
 - iii. *An approved fire apparatus turnaround or secondary point of ingress/egress is not provided. Adequate turnaround must be provided in accordance with AFPC Appendix D Section 103.4.*
 1. *Based on reconfiguration of the lots, additional hydrant placement is likely required. Indicate location of existing fire hydrant(s).* #ADDITIONAL FIRE HYDRANT WILL BE PROVIDED
 - iv. *Revise site plan to capture required sidewalk improvement on Park Ave, ensuring each individual sidewalk improvement along Park Ave and Fairview Ave meets minimum 5' sidewalk required.* #PROVIDED
 1. *Will the power pole and AT&T box on Fairview Ave need to be relocated to accommodate the new sidewalk?* #NO
 - v. *Revise site plan to indicate a stub out turnaround in the main parking area to allow vehicles parking in the easternmost parking spaces to backout.* #STURB TURNOUT IS PROVIDED
 - d. Proposed perimeter treatment of the property, indicating screening materials to be used including fences, walls, and plant materials together with a description of uses, setbacks and their proposed relationship to surrounding areas.
 - i. *Indicate building setbacks for C-2 zoning district on both lots to all property lines.*
 1. *Applicant has submitted a variance request to reduce the front yard setback across Lot 1R and Lot 11R concurrently with site plan review.*
 - ii. *Fencing cannot extend past the front building line, nor beyond the side yard setback on corner lots per §14.16.08.A., however the Enforcement Officer may allow deviation to location and height requirements in accordance with §14.10.02.B.b.1.* #FENCING IS REVISED IN SW CORNER OF LOT 1R
 1. *Indicate existing driveway south of Lot 1R (serving residence at 8218 Park Ave) on site plan to determine no deviation from site triangle requirements is created by the proposed 6' opaque fence terminating at the property line in accordance with §14.10.13.* #EXISTING DRIVEWAY IN LOT 1 WILL BE REMOVED, AND FENCE IS REVISED TO AVOID SUCH PROBLEM
 2. *Indicate existing driveway south of Lot 11R (serving residence at 8217 Fairview Ave) on site plan to determine if obstruction is created by location of the proposed retaining wall in accordance with §14.10.13.* #WALL AND FENCING IN THE SE CORNER OF LOT 11R IS REVISED TO AVOID OBSTRUCTION.
 - e. Schematic landscape plan showing proposed treatment of the areas designated as either buffers or private common open space. – *proposed landscaping plan is insufficient.*
 - i. *Revise site plan to include all required perimeter, vehicular access, and buffering/screening requirements; dimension all landscape strips as required by Zoning Code §14.16* #INCLUDED

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202601.Lot 1R and 11R, Blk 2 Carroll Heights Sub

 SHERWOOD

Planning Commission Meeting: 1/13/2026

1. **6' landscape strip is required between vehicular use areas, property lines and between ROW; dimension all landscape areas indicated on site plan in accordance with §14.16.06.**
 - a. **A minimum of 1 tree every 30 linear feet and 1 shrub every 5 linear feet is required, in addition to appropriate ground covers, grasses, etc. #PROVIDED**
 - b. **Revise site plan to indicate continuation of the 6' landscape strip required to the west along the entirety of the south property line of Lot 1R. # REVISED**
2. **Site plan indicates the required 6' landscape strip/distance from R-1 property cannot be met at the SE corner of the Lot 11R. #LANDSCAPE STRIP WIDTH VARIES FROM 10.7' to 5.4' DUE TO THE SIDE AND EXISTING GRADE OF THE LOT.**
- ii. **At minimum 5% of the interior of vehicular use area is required to be landscaped, e.g., planters/islands surrounded by concrete curb with no less than 80sf, or based on percentage calculation of vehicular use area. There must be a minimum of 1 tree in each planter/island. #PROVIDED**
 1. **Note: 1 large planter containing all 5% of the required area is not permitted. #3 PLANTERS ARE SHOWN IN THE REVISED PLAN**
 2. **Note: permitter landscaping provided for screening vehicle use areas does not constitute part of the interior landscape area coverage requirements. #LANDSCAPE PLAN IS REVISED**
- iii. **Provide a legend for proposed plantings to include type, species, and quantity of each proposed plant material in accordance with requested revisions. #PROVIDED**
- iv. **Plantings proposed where C-2 property abuts R-1 shall be such to reach a minimum height of 6' within 3 years [for vehicular use areas §14.16.08.B] and shall be dense evergreen shrubbery screen to reach a minimum height of 8' and thickness of 5' within 5 years [for non-vehicular uses areas §14.16.08.E]. #ACKNOWLEDGED**
- v. **Indicate on landscape plan that all plantings shall be served by automatic irrigation, §14.16.06.D. #INDICATED**
- vi. **Dumpster location was previously discussed to be closer or attached to the proposed restaurant on Lot 1R to achieve greater separation distance from abutting residual properties. #LOCATION IS REVISED DUE TO PROVIDE EASY ACCESS FOR THE DUMP TRUCK.**
 1. **Provide proposed materials for dumpster enclosure and indicate elevations on site plan, §14.16.08.C. #ADDED ON THE SITE PLAN**
- f. Location and dimension of all existing and proposed utility drainage, and street easements within the site.
Add additional easements and label easements by their intended use. #EXISTING UTILITY EASEMENT IS LABELED
- g. Proposed location of structures and structural dimensions, dimension distances between buildings, distances from structures to property lines, and building materials.
 - i. **Add all dimensions from building(s) to all property lines for Lot 1R and 11R. #ADDED**
 - ii. **Provide architectural elevations and listing of proposed exterior building materials in accordance with Zoning Code §14.10.10, adopted by Ordinance No. 2520 (staff to provide copy of Exterior Building Design Standards upon request), as part of the new SPL application for Lot 1R and 11R. #WILL BE PROVIDED UPON REQUEST**

2. Topographical cross section map of the site and the location of the one hundred (100) year flood elevation if involved on the parcel of land.

3. Quantitative data including the following:

- a. **Parcel size – add acreage to Lot 1R and 11R #ADDED**
- b. **Proposed floor area of principal and accessory buildings.**
- c. **Proposed number of parking spaces.
 - i. **Applicant indicates patron seating (58) + 6 employees', a minimum of 21 parking spaces is required for the restaurant proposed on Lot 11R. How was this figured? Fixed seating or sf of proposed structure? Provide interior floor/seating plan used for calculation as previously submitted. #PARKING CALCULATION PROVIDED BELOW.**
 - ii. **To confirm minimum parking requirements for Lot 1R the applicant must provide detailed description of proposed use.****

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202601.Lot 1R and 11R, Blk 2 Carroll Heights Sub

 SHERWOOD

Planning Commission Meeting: 1/13/2026

1. **Use of “Office Equipment Sales and Service” is indicated for Lot 1R with a minimum parking requirement of 5 spaces.** #PARKING CALCULATION PROVIDED.
- iii. **Provide a general note indicating all parking space dimensions are consistent with the 1 dimensioned space indicating typical parking space dimension of 20’x9’.** #ADDED AS NOTE 13.

4. Engineering:

- a. **Provide runoff calculations/pre- and post-drainage report.** #WILL BE PROVIDED UPON COMPLETION OF DESIGN
- b. **What is the plan to capture runoff leaving the parking area at the SE corner of Lot 11R near the proposed retaining wall?** #RUNOFF WILL BE DRAIN INTO FAIRVIEW AVE, THIS IS WHERE THE EXISTING RUNOFF DRAINS.
- c. **How will the site be graded where impact or cross over to adjoining property does not occur?** #SITE WILL BE GRADED TO DRAIN RUNOFF TOWARDS SE CORNER OF LOT 11R, THEN INTO FAIRVIEW AVE.
- d. **Provide engineering plans for the proposed retaining walls.**

5. Additional information needed:

- a. **Indicate site lighting on plan including location and fixture type.** #WILL BE PROVIDED UPON FINAL DESIGN
- b. **Is the intended commercial subdivision subjected to phased development?** #NO
- c. **Correct street name of East Kiehl Road to East Kiehl Avenue. Ensure ROW is dimensioned from C/L of roadway to reflect that of recent ROW dedication.** #CORRECTED
- d. **Has the Replat approved November 10, 2025 been filed with the County recorder?** #NO, REPLAT WILL BE FILED UPON FINAL DESIGN
- e. **Applicant must provide a detailed description of the use proposed for Lot 1R [SubZero HVAC] to ensure said use is permitted and to confirm minimum parking requirements.** #OFFICE FOR HVAC SERVICING, PARKING TYPE 6, 3000 SF WILL REQUIRE 5 SPACES
 - i. **SPL Review Note 1 indicates Lot 1R to contain an “Office Building” for “Office Equipment Sales and Services”. Additional information required.** #OFFICE BUILDING FOR SUB ZERO HEATING AND AIR
- f. **Intent of the staff recommendation to request a variance concurrently with the site plan application for a reduced front yard setback was to promote a more uniform development pattern consistent with the existing structure on Lot 1R and the proposed improvements on Lot 11R along this portion of the E. Kiehl Ave corridor. The recommendation was not intended to provide the applicant with an opportunity to redevelop Lot 1R in a manner that would allow construction of a new building substantially larger or deeper than what would otherwise be permitted under the required 40’ front yard setback.**

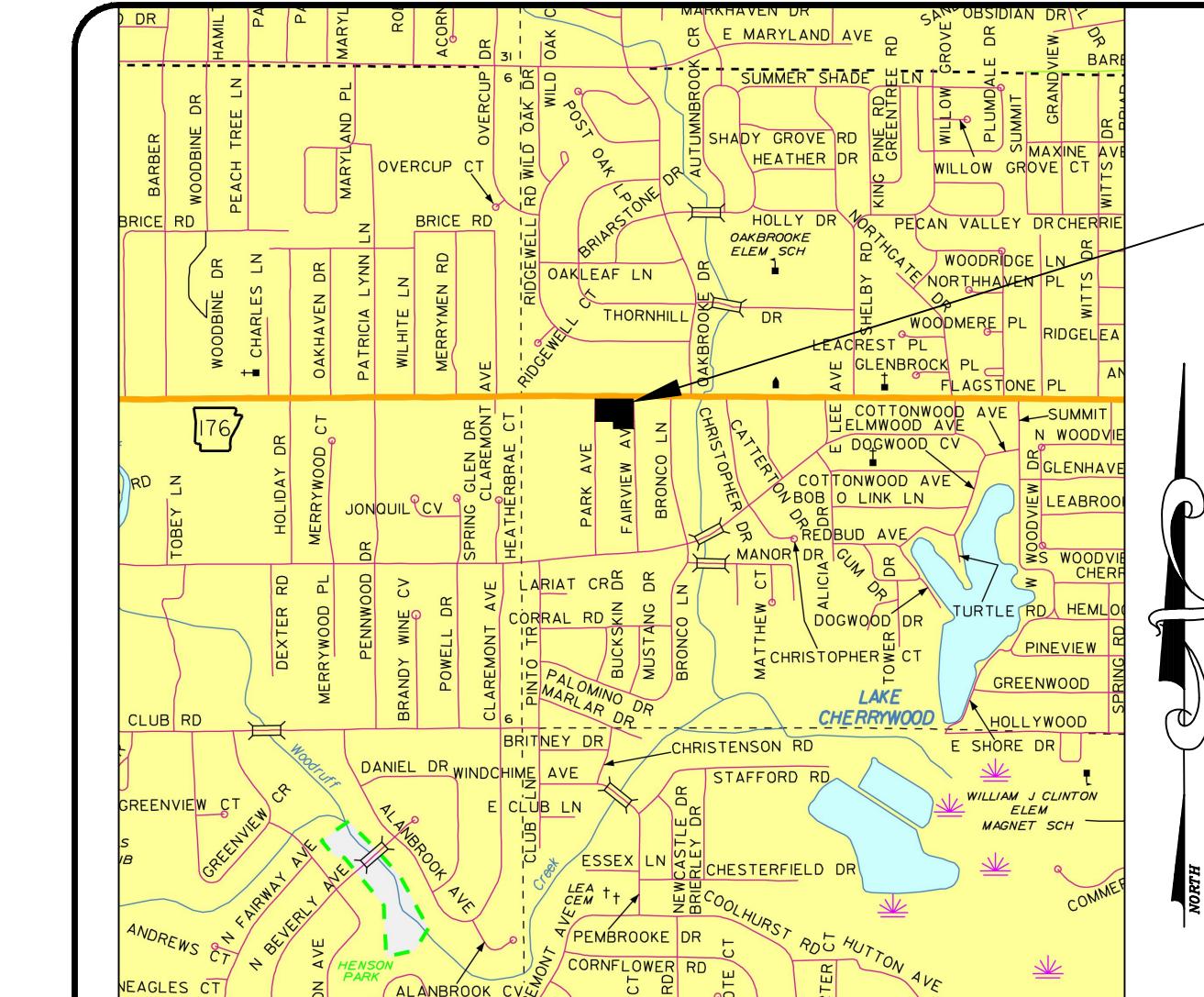
#BUILDING SIZE IN LOT 1R IS REDUCED FROM 3000SF TO 2000SF

Waivers requested: No waivers requested

Variances requested: Variance requested to reduce the required 40-foot front yard setback across Lots 1R and 11R.

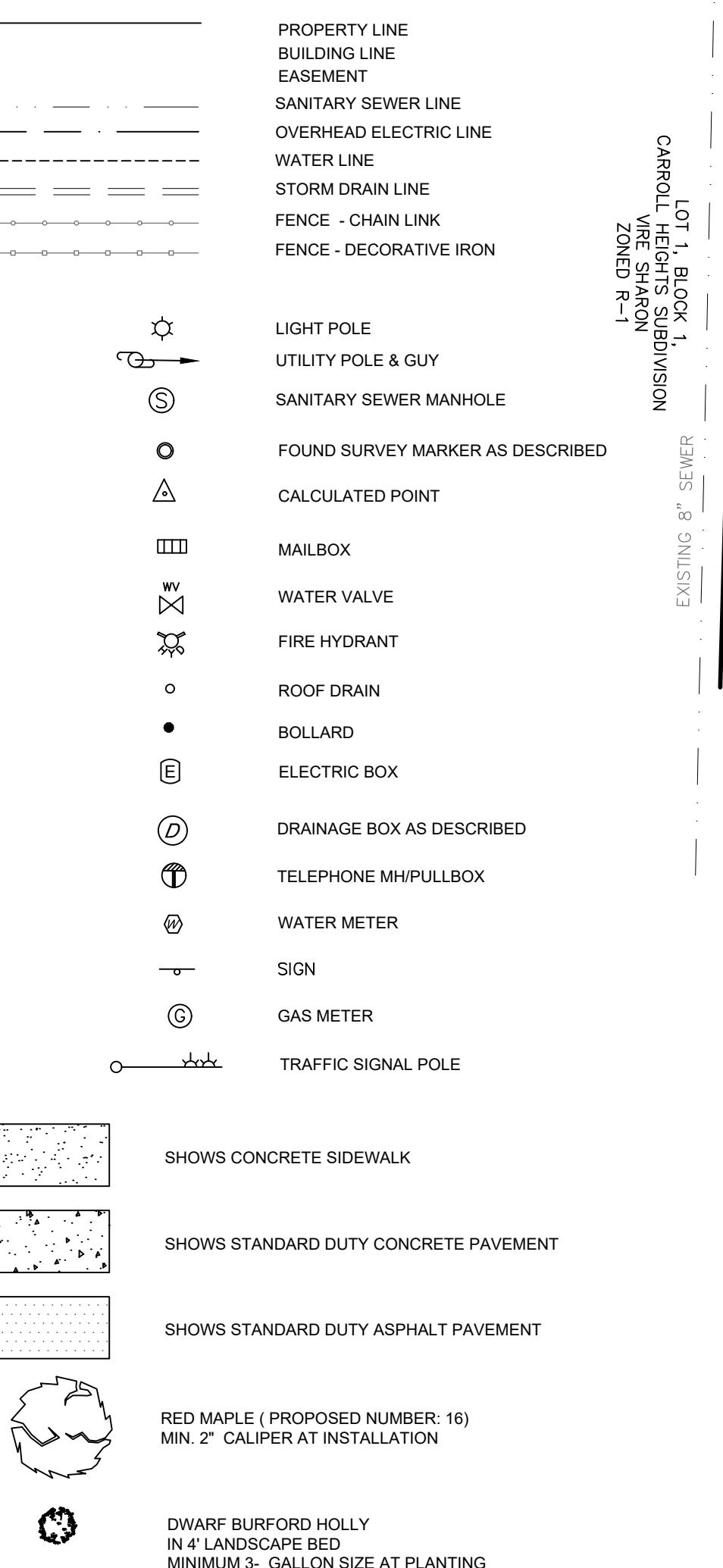
STAFF RECOMMENDATION

Please provide comments and/or revisions on staff analysis by COB on December 30th, 2025.



VICINITY MAP

LEGEND

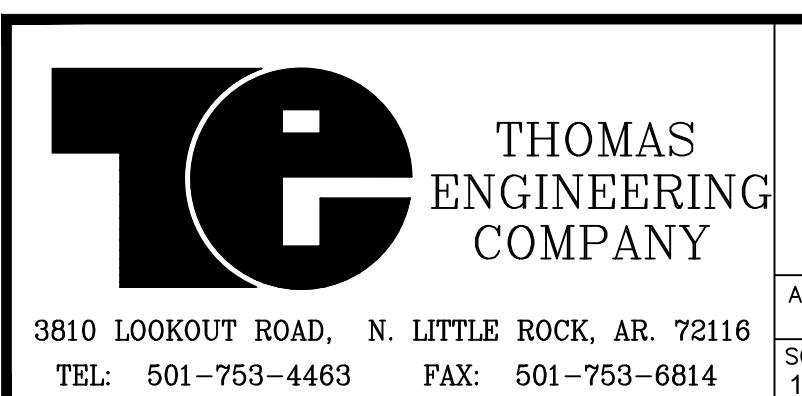


PARKING REQUIREMENT:
LOT 1R - OFFICE EQUIPMENT SALES AND SERVICE: 5
LOT 11R - RESTAURANT (58 CUSTOMERS AND 6 EMPLOYEES): 21
TOTAL PARKING REQUIRED: 26
TOTAL PARKING PROVIDED: 28

LEGAL DESCRIPTION
LOT 1 & 11, BLOCK 2
CARROLL HEIGHTS SUBDIVISION
SHERWOOD, ARKANSAS

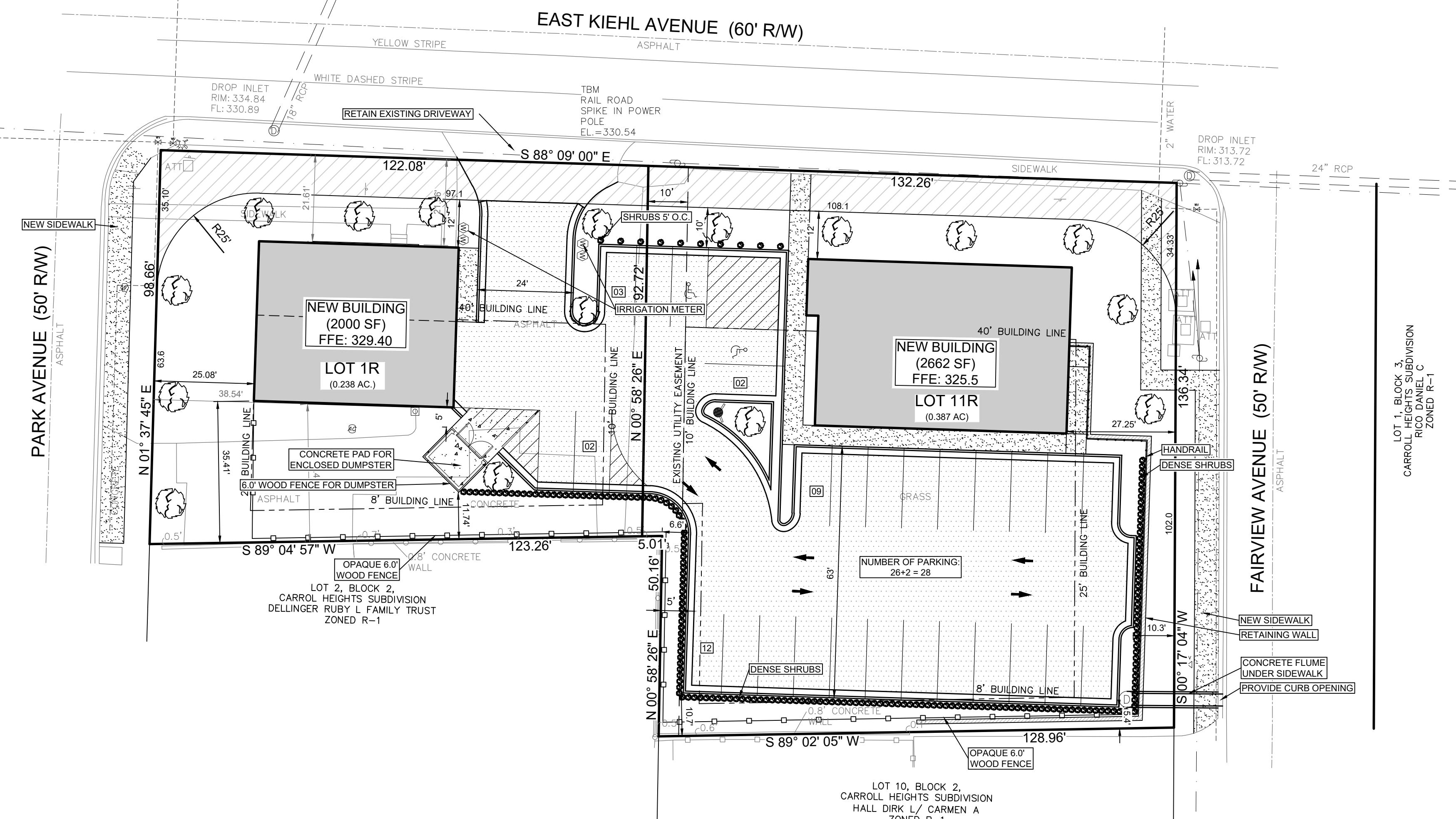
FOR USE AND BENEFIT OF:
LIE KIANHO MCADAMS/AUSTIN
MCADAMS/JUDITH/WILLIAM MCADAMS
8924 STILLWATER ROAD
SHERWOOD, AR 72120

PRELIMINARY PLAN -
NOT FOR CONSTRUCTION



SITE PLAN REVIEW
LOTS 1 & 11, BLOCK 2
CARROLL HEIGHTS SUBDIVISION
CITY OF SHERWOOD,
PULASKI COUNTY, ARKANSAS

APPROVED DRAWN BY DATE SHEET NO.
SCALE 1" = 20'
3



SITE & GRADING PLAN
GENERAL NOTES
1. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

2. WARRANTY/DISCLAIMER
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED AT THIS TIME. HOWEVER, NEITHER THOMAS ENGINEERING COMPANY NOR ITS PERSONNEL CAN OR DO WARRANT THE ACCURACY OF THESE PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THOMAS ENGINEERING COMPANY PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

3. SAFETY NOTICE TO CONTRACTOR
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

4. ALL SLOPES TO BE GRADED TO 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THIS SHEET.

5. SEE ARCHITECTURAL PLANS FOR DETAILS ON CONCRETE RAMPS AND SIDEWALKS ATTACHED TO BUILDINGS.

6. ALL STORM DRAIN LINES AND UTILITY LINES UNDER THE PAVEMENT SHALL BE BACK FILLED WITH CRUSHED STONE.

7. ENGINEER'S NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, ON AS-BUILT PLANS. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN.

8. FINISHED GRADE CONTOURS ARE INDICATED ALONG TOP OF COMPLETED STRUCTURES, TOP OF PAVEMENT AND GUTTER LINE OF CURB, UNLESS OTHERWISE SHOWN. FOR ROUGH GRADING, CONTRACTOR SHALL ALLOW FOR DEPTHS OF TOPSOIL AND CONCRETE STRUCTURES. FOR FINISH GRADING, CONTRACTOR SHALL INSTALL TOPSOIL AND CONCRETE STRUCTURES TO FINISHED GRADE AS INDICATED ON THIS SHEET.

9. GRADE TO DRAIN AWAY FROM BUILDING AT MINIMUM 1% SLOPE.

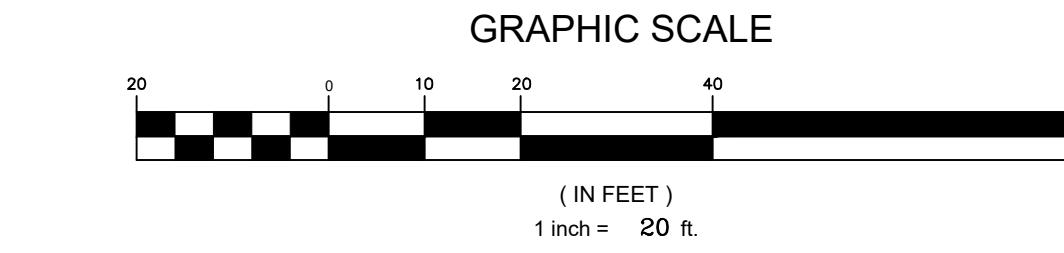
10. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III.

11. ALL DIMENSIONS ARE SHOWN TO THE BACK OF CURB.

12. DRIVEWAY SHOULD BE CONSTRUCTED IN ACCORDANCE WITH ARDOT DETAIL DR-1.

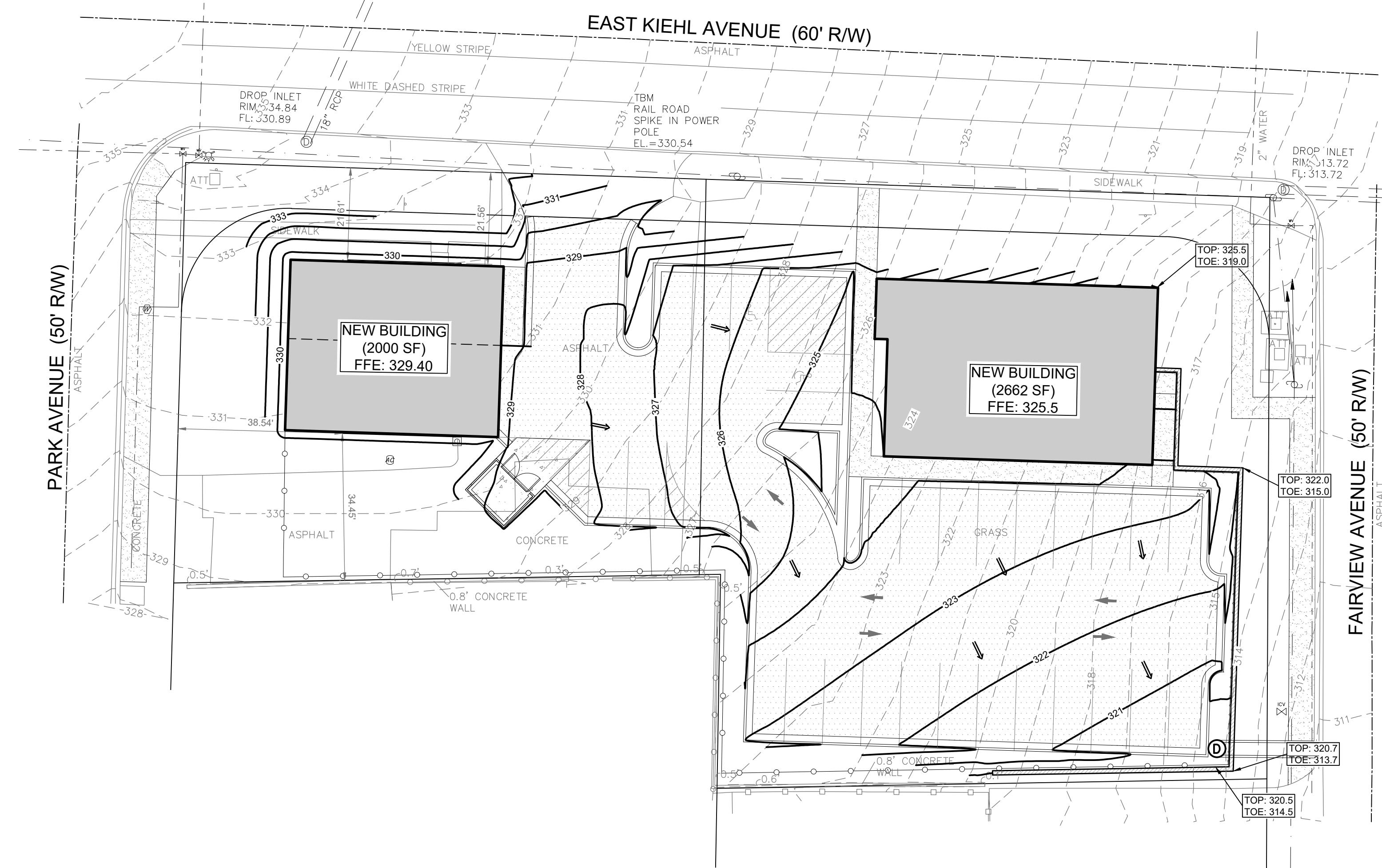
13. ALL PARKING SPACE DIMENSIONS WILL BE CONSISTENT IN SIZE (20'X9').

SITE PLAN REVIEW NOTES
1. SITE CONTAINS A PROPOSED OFFICE BUILDING AND A RESTAURANT.
2. BASIS OF BEARINGS: PAGES
3. THE PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 05119C0354G DATED JULY 6, 2015.
4. THIS PROPERTY IS ZONED C-2
5. LOT 1R CONTAINS 0.238 ACRES, MORE OR LESS & LOT 11R CONTAINS 0.387 ACRES, MORE OR LESS.
6. SETBACKS SHOWN FOR THIS LOT:
40' FRONT (VARIANCE REQUESTED)
10' (25' WHEN ABUTTING STREET)
8' REAR
7. BUILDING COVERAGE FOR LOT 1R IS 18.8%.
BUILDING COVERAGE FOR LOT 11R IS 15.8%.



3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463 FAX: 501-753-6814

NORTH



SITE & GRADING PLAN
GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

2. WARRANTY/Disclaimer
THE DESIGNS CONTAINED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED AT THIS TIME. HOWEVER, NEITHER THOMAS ENGINEERING COMPANY, INC. NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THOMAS ENGINEERING COMPANY PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

3. SAFETY NOTICE TO CONTRACTOR
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE SITE, INCLUDING SAFETY OF PERSONS AND PROPERTY DURING PERFORMANCE OF WORKS. THIS AGREEMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

4. ALL SLOPES TO BE GRADED TO 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THIS SHEET.

5. SEE ARCHITECTURAL PLANS FOR DETAILS ON CONCRETE RAMPS AND SIDEWALKS ATTACHED TO BUILDINGS.

6. ALL STORM DRAIN LINES AND UTILITY LINES UNDER THE PAVEMENT SHALL BE BACK FILLED WITH CRUSHED STONE.

7. ENGINEER'S NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND EXISTENCE OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

8. FINISHED GRADE CONTOURS ARE INDICATED ALONG TOP OF COMPLETED STRUCTURES. TOP OF CONCRETE AND GUTTER LINE OF CURBLESS OTHERWISERAWN. FOR RUGH GROUT, CONTRACTOR SHALL ALLOW FOR DEPTHS OF TOPSOIL AND CONCRETE STRUCTURES. FOR FINISH GRADING, CONTRACTOR SHALL INSTALL TOPSOIL AND CONCRETE STRUCTURES TO FINISHED GRADE AS INDICATED ON THIS SHEET.

9. GRADE TO DRAIN AWAY FROM BUILDING AT MINIMUM 1% SLOPE.

10. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III.

11. ALL DIMENSIONS ARE SHOWN TO THE BACK OF CURB.

SOIL COMPACTION NOTES:

1. ALL UNSUITABLE SOIL BENEATH THE BUILDING AND PAVED AREAS SHALL BE REMOVED AS DIRECTED BY GEOTECHNICAL ENGINEER.
2. ALL BACKFILL MATERIAL NEEDED TO RAISE THE SITE TO GRADE SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.
3. BACKFILL MATERIAL SHALL BE COMPACTION IN 1.0' VERTICAL LIFTS AND DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT BY GEOTECHNICAL ENGINEER.
4. BACKFILL MATERIAL LIFTS SHALL BE COMPACTION TO 95% MODIFIED PROCTOR.

LEGEND

-----	EXISTING CONTOURS
-----	PROPOSED CONTOURS
101	PROPOSED SPOT ELEVATION GUTTER
497.75 GT	PROPOSED SPOT ELEVATION FINISHED GRADE
497.75 FG	EXISTING SPOT ELEVATION
497.75	DRAINAGE ARROW

NOTE: SPOT ELEVATIONS FINISHED GRADE UNLESS OTHERWISE SHOWN.

PRELIMINARY PLAN -
NOT FOR CONSTRUCTION

GRADING PLAN			
LOTS 1 & 11, BLOCK 2 CARROLL HEIGHTS SUBDIVISION CITY OF SHERWOOD, PULASKI COUNTY, ARKANSAS			
APPROVED	DRAWN BY MNH	DATE 12.30.2025	SHEET NO. 4
3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116 TEL: 501-753-4463 FAX: 501-753-6814 SCALE: 1" = 20'			

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202601.Lot 1R and 11R, Blk 2 Carroll Heights Sub



Planning Commission Meeting: 1/13/2026

REQUEST

The applicant is seeking site plan approval for a two-lot commercial subdivision. The proposal includes construction of a new ~3,000 square foot HVAC business on Lot 1R and a new ~2,662 square foot restaurant on Lot 11R. The development proposes shared site access from E Kiehl Ave via Lot 1R and shared parking, located on Lot 11R. This application is submitted concurrently with a variance request to allow a comprehensive reduction of the required front yard setback on Lots 1R and 11R, Block 2, Carroll Heights Subdivision.

OWNER/AGENT INFORMATION

Owner: McAdams Lie Kianho/Austin/McAdams Judith/William, 8924 Stillwater Road
Sherwood, AR

Applicant/Authorized Agent: Thomas Engineering

TECHNICAL SITE INFORMATION

Location/Parcel ID: 1800 E Kiehl Ave
Parcel ID: 23S0180000700
Property Area: ±0.73 acre (*per Pulaski Co Assessor*); ±0.68 (*per replat*)
Current Zoning: Light Commercial (C-2)
Land Use Plan: Office/Buffer Area (S-OFF)
Surrounding Zoning/Land Use: North – General Commercial District (C-3)/Commercial Corridor (S-COR)
South – Single Family Residential (R-1)/Suburban Single Family (S-SFR)
East - Single Family Residential (R-1)/Suburban Single Family (S-SFR)
West - Single Family Residential (R-1)/Office/Buffer Area (S-OFF)

EXISTING CONDITIONS

Lot 1R is developed with a one-story 1,080 sf non-residential structure previously used as a hair salon; said structure is nonconforming on the basis of the significant building encroachment into the 40' front yard setback. Lot 11R is undeveloped.

PUBLIC NOTIFICATION

n/a

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Office/Buffer Area (S-OFF). Areas include a mixture of office, light commercial uses and various housing types including duplexes, small-scale multi-family, single-family-attached homes, and single-family detached homes. The districts typically represent areas in transition from single-family residential to more intensive uses or areas which office and limited commercial is most appropriate. **Within these transitional areas, a great deal of care is warranted in order to balance the pressure to allow more productive uses with the need to protect existing property owners.**

MASTER STREET PLAN

The subject properties are located on E Kiehl Ave with ~254.34' of direct frontage. Lot 11R has ~136.34' of frontage on Fairview Avenue to the east and Lot 1R containing ~98.66' of frontage on Park Avenue to the west.

E Kiehl Avenue

Minor Arterial (80' ROW)

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202601.Lot 1R and 11R, Blk 2 Carroll Heights Sub

SHERWOOD

Planning Commission Meeting: 1/13/2026

Fairview Avenue:	Local (50' ROW)
Park Avenue:	Local (50' ROW)

STAFF ANALYSIS

1. Scaled site plan, including:
 - a. Graphic scale. **Provided**
 - b. Proposed lot lines. **Provided**
 - c. Existing and proposed vehicular and pedestrian circulation systems including streets, alleys, walkways, service areas and loading areas, the location and arrangement of off-street parking areas and all points of vehicular ingress and egress.
 - i. *Applicant indicates a single point of ingress/egress to access the commercial subdivision utilizing the existing driveway on E Kiehl Ave.*
 - ii. *Applicant must execute a shared access and parking agreement between Lots 1R and 11R, as required prior to issuance of a building permit. Acknowledged by applicant.*
 - iii. *An approved fire apparatus turnaround or secondary point of ingress/egress is not provided. Adequate turnaround must be provided in accordance with AFPC Appendix D Section 103.4. Not addressed; applicant must indicate fire apparatus turnaround on the site plan [see #5.g.].*
 1. *Based on reconfiguration of the lots, additional hydrant placement is likely required. Indicate location of existing fire hydrant(s). Addressed; Fire Marshal determined adequate fire hydrant is placement within 400' of the proposed commercial subdivision.*
 - iv. *Revise site plan to capture required sidewalk improvement on Park Ave, ensuring each individual sidewalk improvement along Park Ave and Fairview Ave meets minimum 5' sidewalk required.*
 1. *Will the power pole and AT&T box on Fairview Ave need to be relocated to accommodate the new sidewalk? Addressed; additional action required. Applicant relocated Fairview Ave sidewalk improvement to mitigate conflict with existing utility. Relocation of the sidewalk improvement within bounds of Lot 11R [private property] must be captured in an easement.*
 2. *Replat approved November 10, 2025 must be revised capture sidewalk easement on Lot 11R if desired location is retained for the required improvement.*
 - v. *Revise site plan to indicate a stub out turnaround in the main parking area to allow vehicles parking in the easternmost parking spaces to backout. Captured on site plan; applicant must dimension stub out turnaround.*
 - d. Proposed perimeter treatment of the property, indicating screening materials to be used including fences, walls, and plant materials together with a description of uses, setbacks and their proposed relationship to surrounding areas.
 - i. *Indicate building setbacks for C-2 zoning district on both lots to all property lines. Addressed*
 1. *Applicant has submitted a variance request to reduce the front yard setback across Lot 1R and Lot 11R concurrently with site plan review. Site plan as submitted indicates the reduced front yard setback on Lot 1R and Lot 11R, as requested.*
 - ii. *Fencing cannot extend past the front building line, nor beyond the side yard setback on corner lots per §14.16.08.A., however the Enforcement Officer may allow deviation to location and height requirements in accordance with §14.10.02.B.b.1.*
 1. *Indicate existing driveway south of Lot 1R (serving residence at 8218 Park Ave) on site plan to determine no deviation from site triangle requirements is created by the proposed 6' opaque fence*

terminating at the property line in accordance with §14.10.13. Applicant revised site plan to indicate termination of 6' opaque fencing at the 25' building line adjacent to Park Ave [See 1.e.i.1.b].

2. *Indicate existing driveway south of Lot 11R (serving residence at 8217 Fairview Ave) on site plan to determine if obstruction is created by location of the proposed retaining wall in accordance with §14.10.13. Addressed; site plan revised to avoid possible obstructed view of the adjacent residential use existing to Fairview Ave.*

e. Schematic landscape plan showing proposed treatment of the areas designated as either buffers or private common open space. – ***proposed landscaping plan [captured on site plan] is insufficient; applicant must provide a separate landscape plan.***

- i. *Revise site plan to include all required perimeter, vehicular access, and buffering/screening requirements; dimension all landscape strips as required by Zoning Code §14.16.*
 1. *6' landscape strip is required between vehicular use areas, property lines and between ROW; dimension all landscape areas indicated on site plan in accordance with §14.16.06. Action required*
 - i. *A minimum of 1 tree every 30 linear feet and 1 shrub every 5 linear feet is required, in addition to appropriate ground covers, grasses, etc.*
 - b. *Revise site plan to indicate continuation of the 6' landscape strip required to the west along the entirety of the south property line of Lot 1R. Not addressed; revise plan to show continuation of a 6' landscape strip the entirety of the south property line to the west property line boundary on Lot 1R. Dense evergreen shrubbery must be provided.*
 2. *Site plan indicates the required 6' landscape strip/distance from R-1 property cannot be met at the SE corner of the Lot 11R. Not addressed; applicant indicates the full 10'-7" to 5'-4" are on Lot 11R is landscape strip, however the area is inclusive of the proposed fence and retaining wall.*
 - a. *If minimum landscape area requirements cannot be met, applicant must request an exception and provide justification to be reviewed by the Planning Commission per §14.16.09.E.*
 - ii. *At minimum 5% of the interior of vehicular use area is required to be landscaped, e.g., planters/islands surrounded by concrete curb with no less than 80sf or based on percentage calculation of vehicular use area. There must be a minimum of 1 tree in each planter/island. See below.*
 1. *Note: 1 large planter containing all 5% of the required area is not permitted. Revisions required.*
 2. *Note: permitter landscaping provided for screening vehicle use areas does not constitute part of the interior landscape area coverage requirements. Revisions required; perimeter landscape treatments cannot be used to satisfy vehicular use area landscaping requirements.*
 - iii. *Provide a legend for proposed plantings to include type, species, and quantity of each proposed plant material in accordance with requested revisions. Partially addressed; applicant must indicate the quantity of each proposed plant material in the provided legend.*
 - iv. *Plantings proposed where C-2 property abuts R-1 shall be such to reach a minimum height of 6' within 3 years [for vehicular use areas §14.16.08.B] and shall be dense evergreen shrubbery screen to reach a minimum height of 8' and thickness of 5' within 5 years [for non-vehicular uses areas §14.16.08.E].*
 - v. *Indicate on landscape plan that all plantings shall be served by automatic irrigation, §14.16.06.D. Irrigation not addressed; separate, revised landscape plan not provided.*
 - vi. *Dumpster location was previously discussed to be closer or attached to the proposed restaurant on Lot 1R to achieve greater separation distance from abutting residual properties.*

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202601.Lot 1R and 11R, Blk 2 Carroll Heights Sub

SHERWOOD

Planning Commission Meeting: 1/13/2026

1. *Provide proposed materials for dumpster enclosure and indicate elevations on site plan, §14.16.08.C.*
Not addressed; applicant indicates enclosure materials and elevations are provided but do not appear to be captured in revisions submitted 12/29/2025.
2. **See #5.g.**
- f. ~~Location and dimension of all existing and proposed utility drainage, and street easements within the site.~~
Add additional easements and label easements by their intended use. Addressed
- g. Proposed location of structures and structural dimensions, dimension distances between buildings, distances from structures to property lines, and building materials. **See below**
 - i. *Add all dimensions from building(s) to all property lines for Lot 1R and 11R. Partially addressed; applicant must indicate setback from both proposed new constructions on Lot 1R and Lot 11R to all property lines.*
 - ii. *Provide architectural elevations and listing of proposed exterior building materials in accordance with Zoning Code §14.10.10, adopted by Ordinance No. 2520 (staff to provide copy of Exterior Building Design Standards upon request), as part of the new SPL application for Lot 1R and 11R. Not provided; staff requires architectural elevations for new construction new buildings on Lot 1R and Lot 11R be submitted in accordance with § 14.10.10 of the Zoning Code. Ensure a list of exterior building materials is provided with elevations.*
2. ~~Topographical cross section map of the site and the location of the one hundred (100) year flood elevation if involved on the parcel of land.~~
3. Quantitative data including the following:
 - a. ~~Parcel size – add acreage to Lot 1R and 11R. Addressed; acreage for each lot indicated on site plan.~~
 - b. ~~Proposed floor area of principal and accessory buildings. Addressed; applicant indicates new construction of 2,000sf for a HVAC use on Lot 1R and new construction of a 2,662sf a restaurant on Lot 11R.~~
 - c. Proposed number of parking spaces.
 - i. *Applicant indicates patron seating (58) + 6 employees', a minimum of 21 parking spaces is required for the restaurant proposed on Lot 11R. Not addressed; How was this figured? Fixed seating or sf of proposed structure? Provide interior floor/seating plan used for calculation as previously submitted.*
 - ii. *To confirm minimum parking requirements for Lot 1R the applicant must provide detailed description of proposed use.*
 1. *Use of "Office Equipment Sales and Service" is indicated for Lot 1R with a minimum parking requirement of 5 spaces. Detailed description of SubZero HVAC, as indicated in the application has not been provided.*
 - ii. *Provide a general note indicating all parking space dimensions are consistent with the 1 dimensioned space indicating typical parking space dimension of 20'x9'. Addressed; applicant provided General Note #13 to satisfy staff comment.*
4. Engineering:
 - a. *Provide runoff calculations/pre- and post-drainage report. Not provided; city consulting engineer requires a complete and accurate grading and drainage plan for the site to determine the feasibility of the concept at this location given challenges presented by the lot and existing terrain.*
 - b. *What is the plan to capture runoff leaving the parking area at the SE corner of Lot 11R near the proposed retaining wall? City consulting engineer requires additional information for the proposed drainage structure at the SE corner of Lot 11R; applicant indicates runoff at this point will be directed to Fairview Ave.*
 - i. *How much water does the proposed drainage structure carry in a 10-year storm?*

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202601.Lot 1R and 11R, Blk 2 Carroll Heights Sub

 SHERWOOD

Planning Commission Meeting: 1/13/2026

- ii. *How much water is proposed to be dumped out at this location onto Fairview Ave during a 10-year storm?*
- c. *How will the site be graded where impact or cross over to adjoining property does not occur?*
 - i. *City consulting engineer requires a grading plan that captures the NE corner of Lot 11R be provided [where the new sidewalk improvement maneuvers around existing utilities]. Will the sidewalk improvement meet ADA?*
 - ii. *NW corner of the new construction on Lot 1R details a ±20% grade from E Kiehl Avenue to the NW corner of the structure (contours 333, 332, 331, 330). It is likely the proposed design will pose drainage issues.*
 - 1. *Sidewalk improvement indicates a ±20% cross slope. Will this meet ADA?*
- d. *Provide engineering plans for the proposed retaining walls. Not provided; applicant indicates retaining wall detail will be provided upon design.*

5. Additional comments/information needed:

- a. *Indicate site lighting on plan including location and fixture type. Not addressed; applicant must indicate on site plan the type and location of lighting fixture(s) proposed on site for staff review.*
- b. *Is the intended commercial subdivision subjected to phased development? Applicants' indicate phased development is not proposed across the commercial subdivision.*
- c. *Correct street name of East Kiehl Road to East Kiehl Avenue. Ensure ROW is dimensioned from C/L of roadway to reflect that of recent ROW dedication. Addressed; ROW as presented on the site plan is accurate pending recordation of the Replat approved November 10, 2025.*
- d. *Has the Replat approved November 10, 2025 been filed with the County recorder? Applicant indicates the approved Replat will be filed with the County recorder upon finalized design of the commercial subdivision.*
- e. *Applicant must provide a detailed description of the use proposed for Lot 1R [SubZero HVAC] to ensure said use is permitted and to confirm minimum parking requirements.*
 - i. *SPL Review Note 1 indicates Lot 1R to contain an "Office Building" for "Office Equipment Sales and Services". Additional information required. Applicant needs to provide a detailed description of services offered by "SubZero HVAC" to be conducted on Lot 1R. Will there be any level of technical operation (service vehicles, equipment, chemicals etc.) or only office space?*
- f. *Intent of the staff recommendation to request a variance concurrently with the site plan application for a reduced front yard setback was to promote a more uniform development pattern consistent with the existing structure on Lot 1R and the proposed improvements on Lot 11R along this portion of the E. Kiehl Ave corridor. The recommendation was not intended to provide the applicant with an opportunity to redevelop Lot 1R in a manner that would allow construction of a new building substantially larger or deeper than what would otherwise be permitted under the required 40' front yard setback. Applicant reduced the proposed new construction on Lot 1R from 3,000sf to 2,000sf.*
- g. *Provide auto-turn document to indicate trash collection and fire truck access and maneuverability on site.*
- h. *Note: this site plan has been reviewed for compliance with the minimum site requirements applicable to the proposed new construction development on Lot 1R and Lot 11R. Approval of this site plan does not grant or imply authorization for any specific business use or right to operate at this location.*

Waivers requested: No waivers requested

STAFF REPORT

Application Type: Site Plan Review

Application: SPL.202601.Lot 1R and 11R, Blk 2 Carroll Heights Sub



Planning Commission Meeting: 1/13/2026

Variances requested: Variance requested to reduce the required 40' front yard setback across Lots 1R and 11R.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission consider tabling the site plan to allow the applicant additional time to address the comments outlined in the staff analysis and make comprehensive revisions to the site plan.

WALKER

LAW FIRM

3131 JOHN F. KENNEDY BLVD.
NORTH LITTLE ROCK, AR 72116

KENT WALKER*

Attorneys at Law
*also licensed in Colorado

TELEPHONE (501) 812-6400
www.walkerlawfirm.us

November 26, 2025

Sherwood Planning Department
c/o Ms. Corey Drake
31 Shelby Road
Sherwood, AR 72120

VIA E-MAIL

Re: *14815 Highway 107; Gasoline Service Station*

Dear Planning Commission Members:

Per discussion with staff, my client has amended and submits herein a revised Site Plan for 14815 Hwy. 107. As understand, we will discuss with the Commission at the January 2026 meeting to see if issues have been resolved, and if not, what areas may need to be further addressed.

If you have questions, please contact our office.

Truly,

/s/ Kent Walker

Kent Walker

Enclosure:/



2601 T.P. White Drive
Jacksonville, AR 72076

TEL 501.982.1538
FAX 501.982.1530

www.bondce.com

December 15, 2025

Mrs. Shelby Notias
City of Sherwood, Permits & Planning
2199 E Kiehl Avenue
Sherwood, AR 72120

RE: Site Plan – Lot 1 Camilla Acres , Sherwood, AR

Dear Mrs. Notias:

Attached are 5 copies of the revised site plan for the referenced project based off the comments from the October 2025 planning commission meeting. This project is located at 6008 Jacksonville Cutoff Road and we are proposing the development of 2 separate duplexes and 2 separate triplexes and associated parking.

On behalf of Sullivan Investment Property LLC, we are requesting to be placed on the January 2026 planning commission agenda for site plan approval.

Please feel free to call me if you have any questions.

Sincerely,

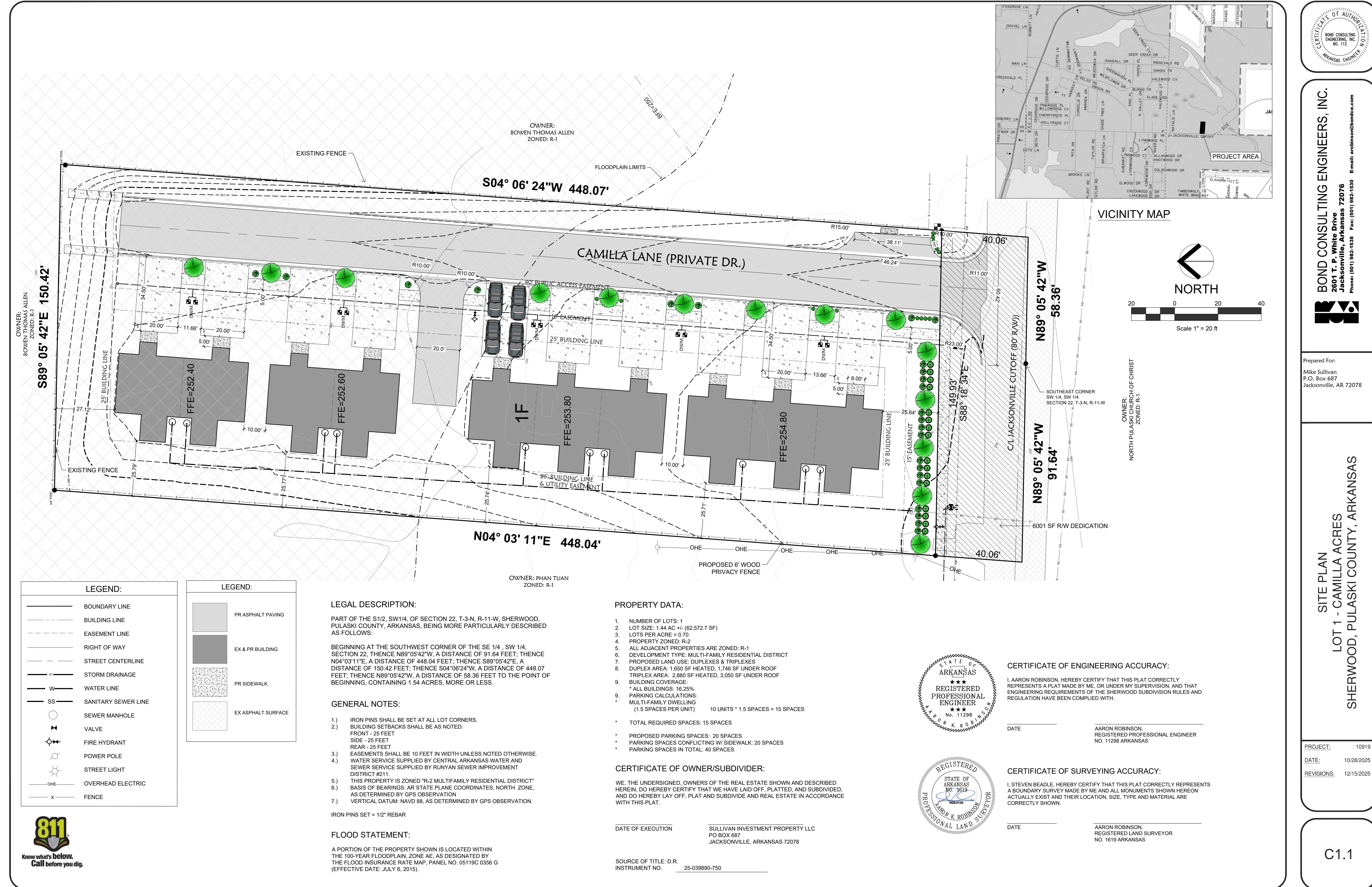
A handwritten signature in blue ink, appearing to read 'Aaron Robinson'.

Aaron Robinson PE PS

cc: BCE # 10919
Mike Sullivan

WATER • WASTEWATER • LAND PLANNERS • STORM WATER • SURVEYORS

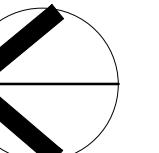
2601 T.P. White Dr. • Jacksonville, AR 72076
Business: 501-982-1538 • Fax: 501-982-1530
Website: www.bondce.com



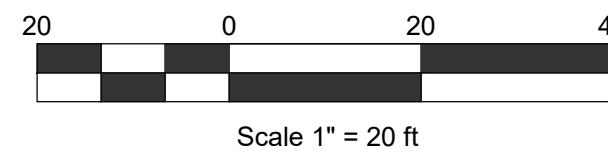
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GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED THE RUYAN SEWER IMPROVEMENT DISTRICT #211 UTILITY STANDARDS AND CENTRAL ARKANSAS WATER (CAW) UTILITY STANDARDS AND THE ARKANSAS DEPARTMENT OF HEALTH STANDARDS.
- ALL SEWER SERVICES AND FITTINGS SHALL BE CLASS 160 PVC.
- SERVICES LINES SHOULD BE LOCATED TO CONFORM TO PLUMBING LOCATIONS ON THE MECHANICAL DRAWINGS.
- IN THE EVENT THAT THE MATERIALS LISTED ON THE PLANS AND SPECIFICATIONS DIFFER FROM THE STANDARDS FOR THE UTILITIES, THE SAID STANDARDS FOR THE UTILITIES SHALL BE USED.
- CONTRACTOR TO GIVE 48 HRS. NOTICE PRIOR TO STARTING CONSTRUCTION. A UTILITY REPRESENTATIVE MUST BE PRESENT WHEN THE CONTRACTOR TIES INTO AN EXISTING MANHOLE OR WATER LINE AND THE UTILITY MUST BE GIVEN A MINIMUM OF 48 HOURS NOTICE PRIOR TO THE CONNECTION OR BEGINNING OF CONSTRUCTION OF WATER & SEWER SERVICES.
- ALL WATER LINES, SEWER LINES, & FORCE MAINS SHALL HAVE TRACER WIRE INSTALLED.
- WATER AND SEWER SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH UTILITY STANDARD CONSTRUCTION SPECIFICATIONS.
- 12 GAGE TRACER WIRE REQUIRED ON WATER AND SEWER MAINS.

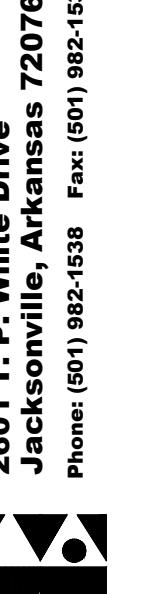


NORTH



Scale 1" = 20 ft

BOND CONSULTING ENGINEERS, INC.

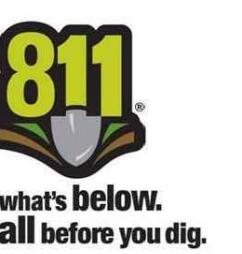


2601 T P. White Drive
Jacksonville, Arkansas 72076
Phone: (501) 982-1538 Fax: (501) 982-1530 E-mail: arobinson@bondco.com

Prepared For:
Mike Sullivan
P.O. Box 687
Jacksonville, AR 72078

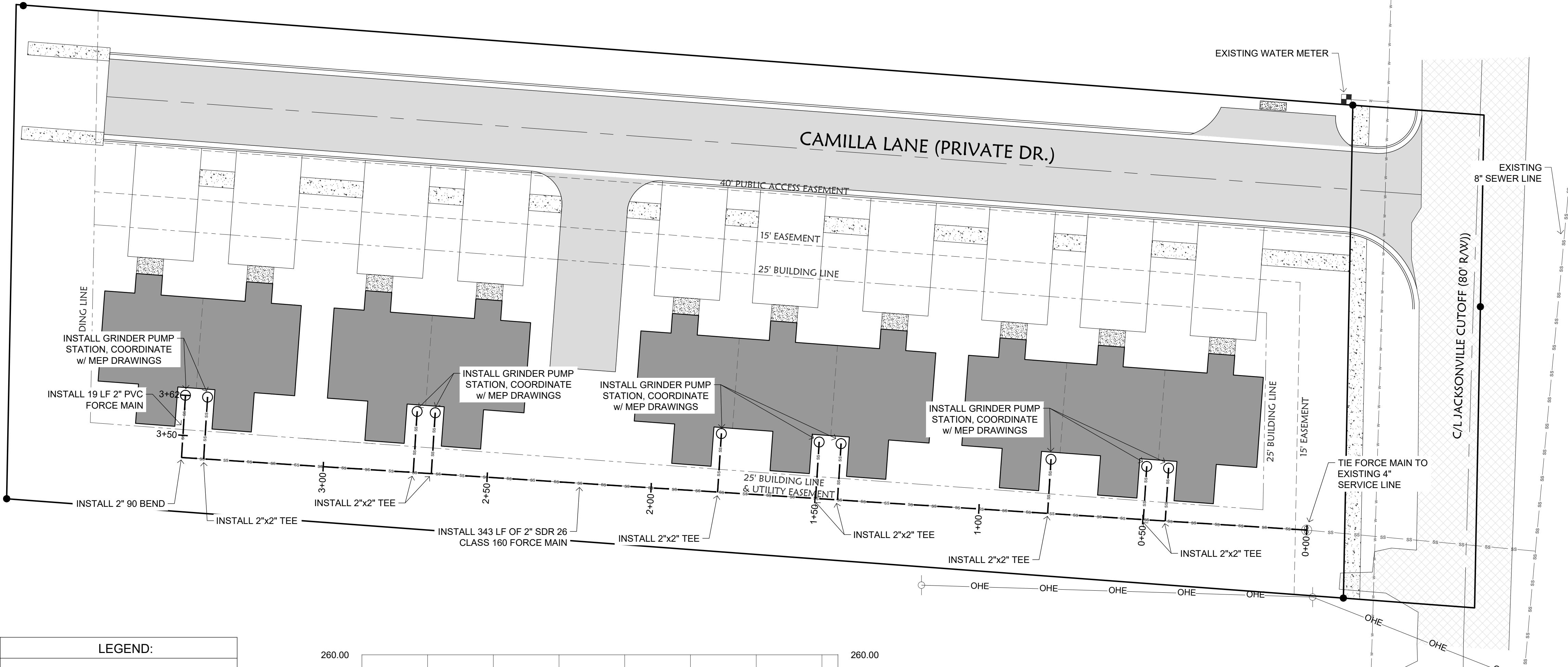
SAINTARY SEWER PLAN & PROFILE
CAMILLA ACRES
SHERWOOD, PULASKI COUNTY, ARKANSAS

PROJECT: 10919
DATE: 10/28/2025
REVISIONS: 12/15/2025

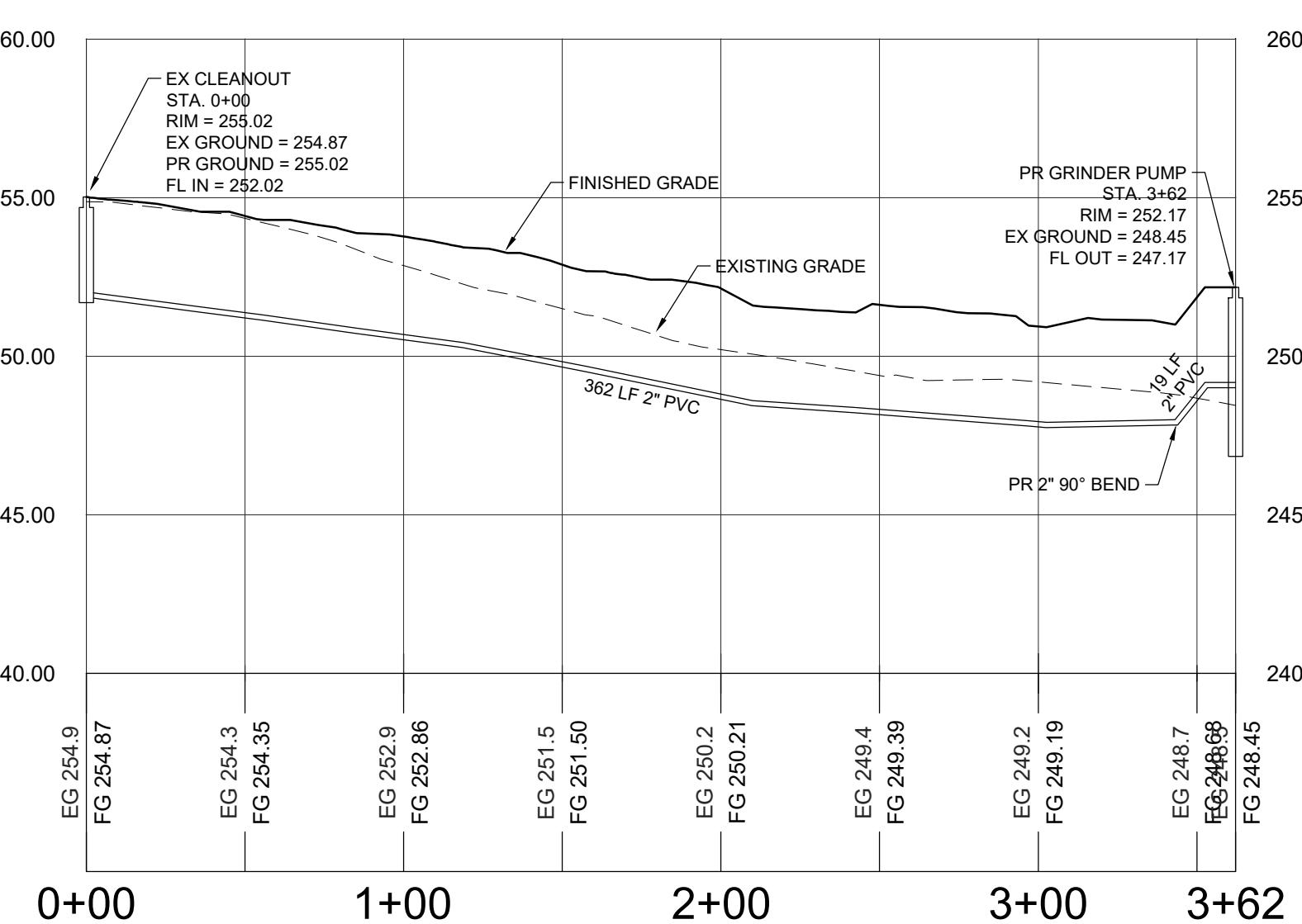


Know what's below.
Call before you dig.

C2.0



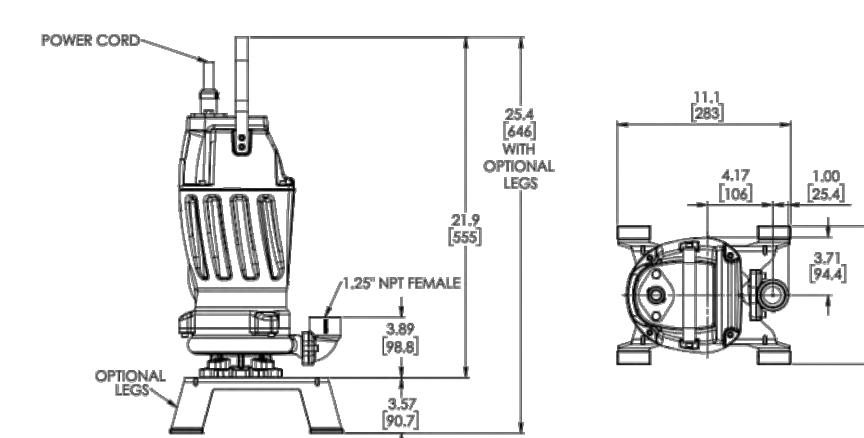
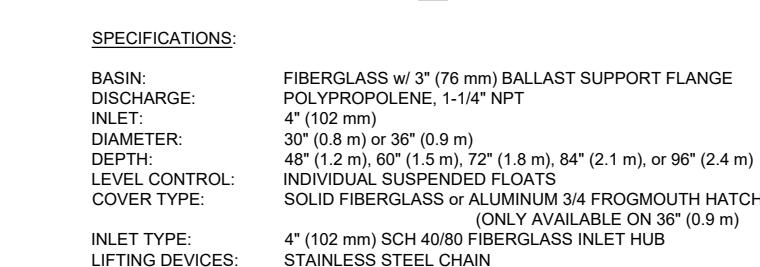
LEGEND:	
—	BOUNDARY LINE
- - -	BUILDING LINE
- - - -	EASEMENT LINE
—	RIGHT OF WAY
—	STREET CENTERLINE
— ST —	STORM DRAINAGE
— W —	WATER LINE
— SS —	SANITARY SEWER LINE
○	SEWER MANHOLE
■	VALVE
●	FIRE HYDRANT
■	POWER POLE
●	STREET LIGHT
— OHE —	OVERHEAD ELECTRIC
— X —	FENCE



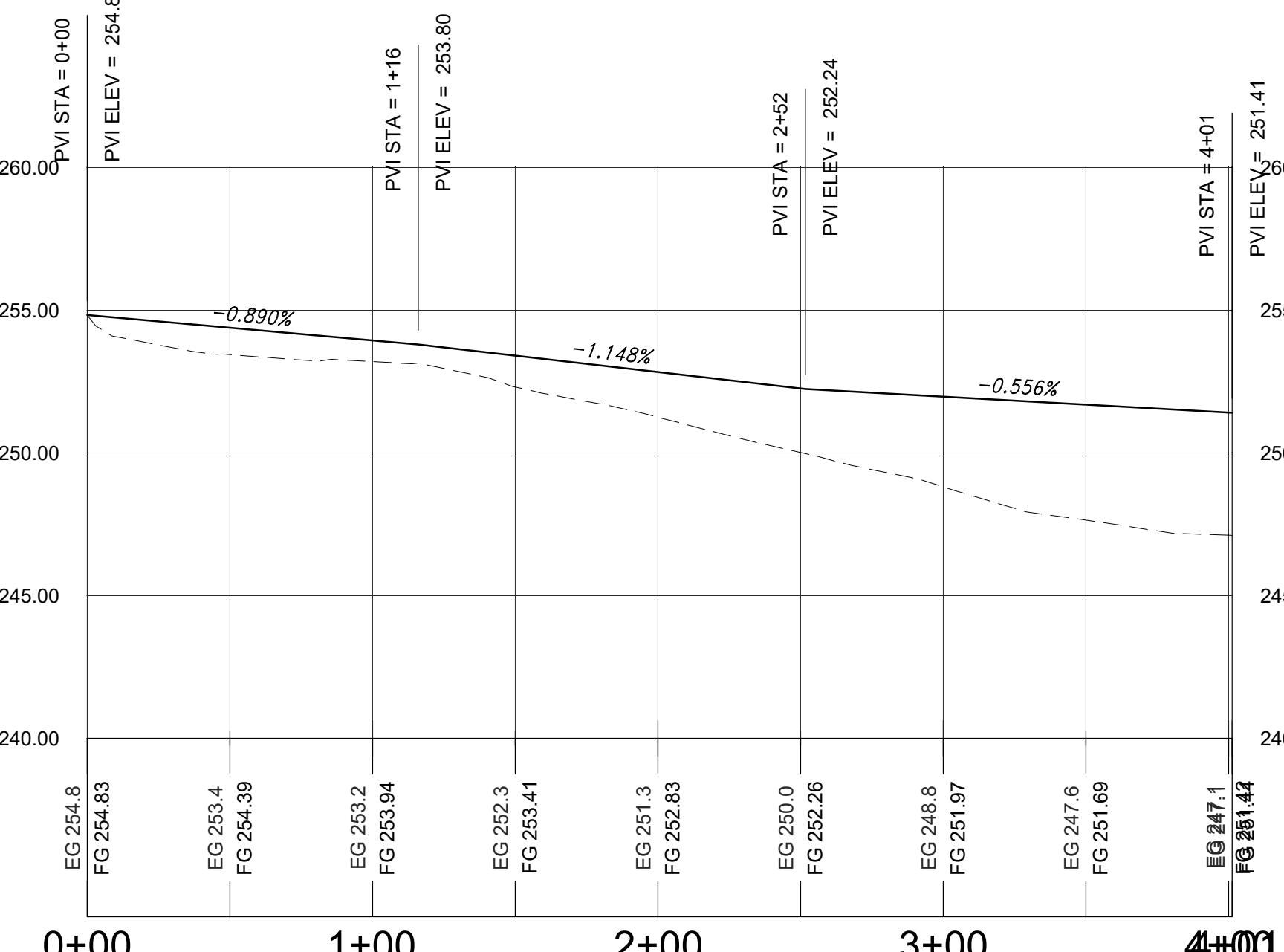
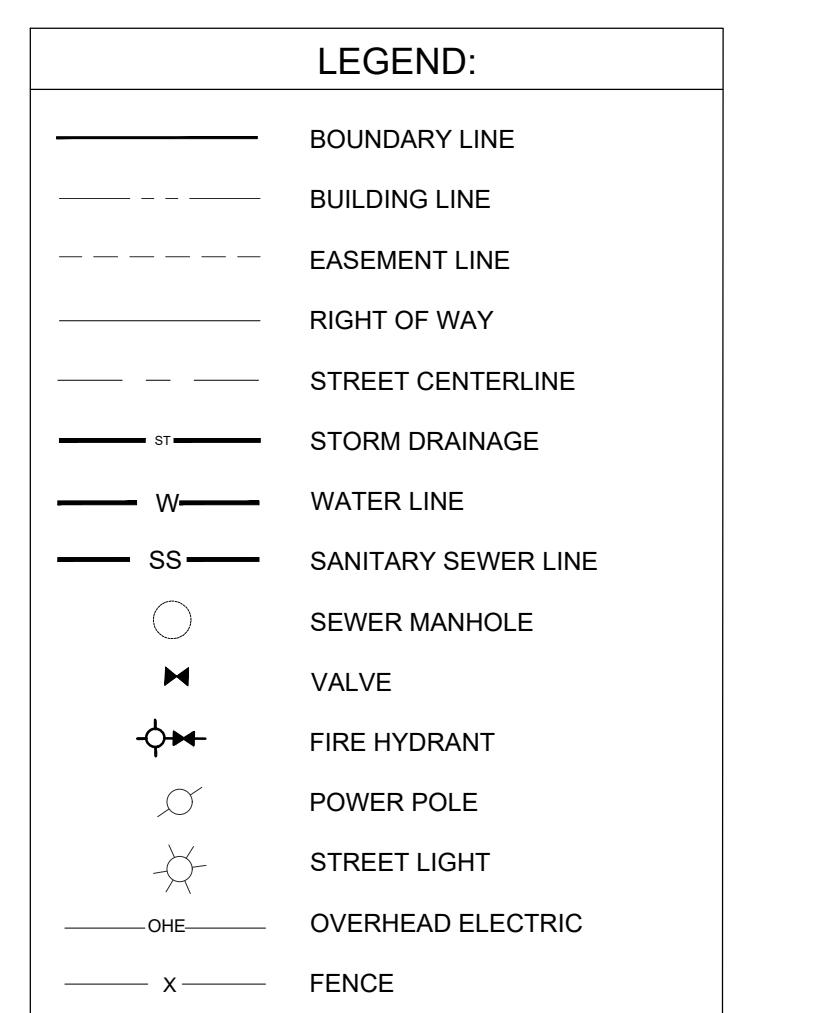
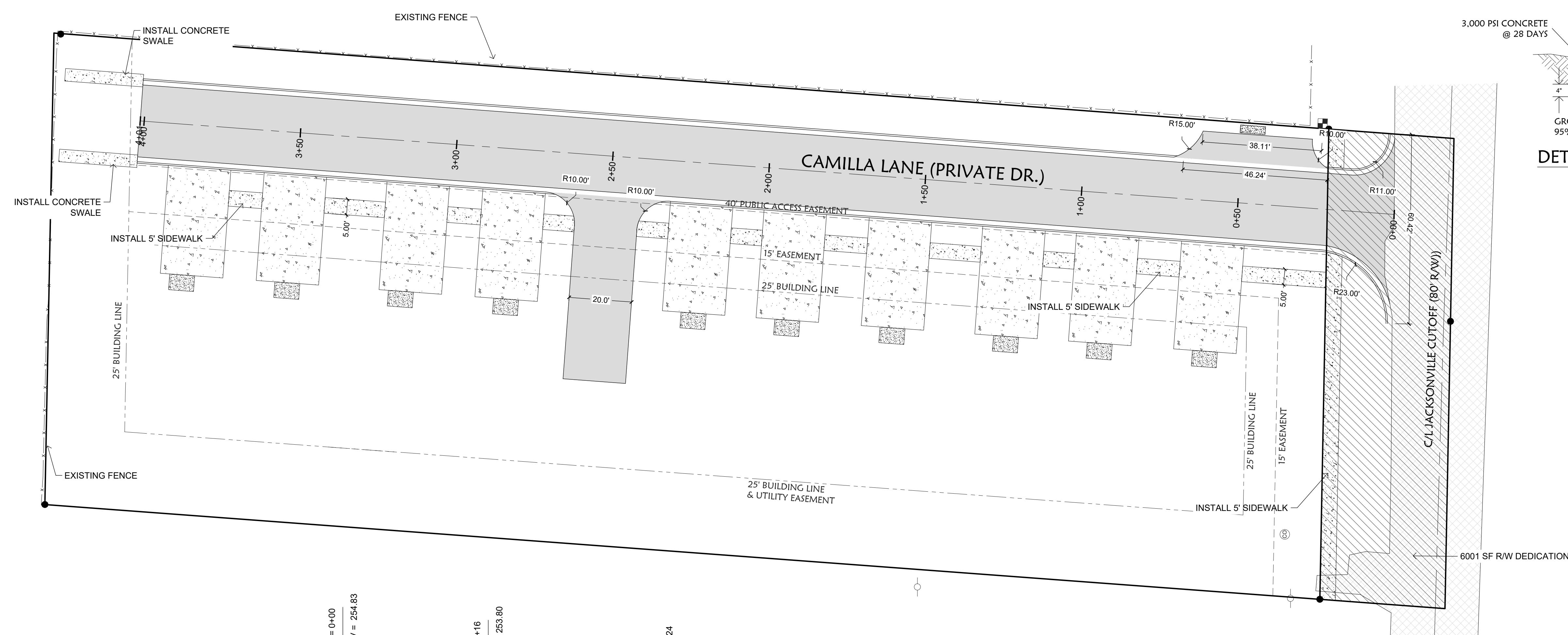
PROFILE - SEWER FORCE MAIN - STA. 0+00 TO 3+62

SCALE: H: 1" = 50'
V: 1" = 5'

DETAIL - SIMPLEX GRINDER PUMP
FIBERGLASS BASIN



DETAIL - GRINDER PUMP

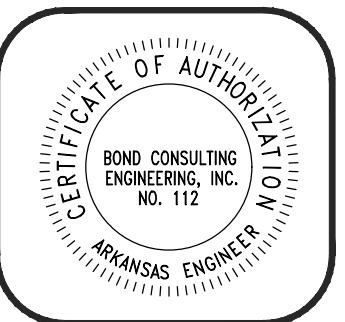


PROFILE - CAMILLA LANE - STA. 0+00 TO 4+09

TYPICAL SECTION OF ROAD IMPROVEMENT



C4.0



BOND CONSULTING ENGINEERS, INC.

**2601 I. P. White Drive
Jacksonville, Arkansas 72076**
Phone: (501) 982-1538 Fax: (501) 982-1530
E-mail: arobinson@bondce.com

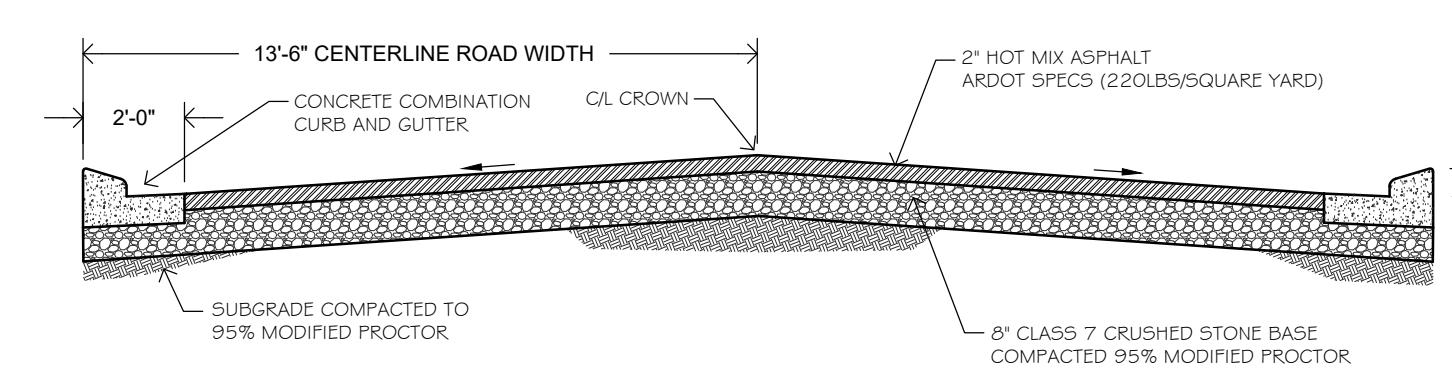
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Prepared For:
Mike Sullivan
P.O. Box 687
Jacksonville, AR 72078

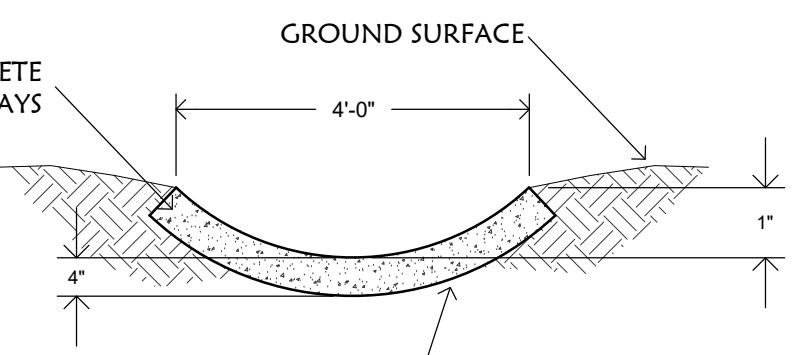
CAMILLA LANE PLAN & PROFILE CAMILLA ACRES SHERWOOD, PULASKI COUNTY, ARKANSAS

PROJECT: 10919
DATE: 10/28/2025
REVIZIONS: 12/15/2025

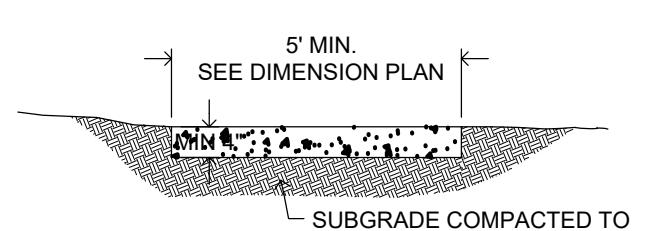
NOTE:
CONTRACTOR TO HAVE CURB CUT AND BUILD ALL
HANDICAP RAMPS AND LANDING PADS AT LOCATIONS
INDICATED ON THE PLANS



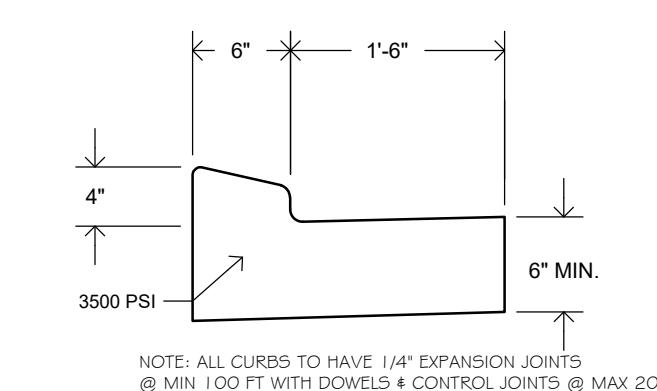
STANDARD PROCTOR AIL CONCRETE SWALE



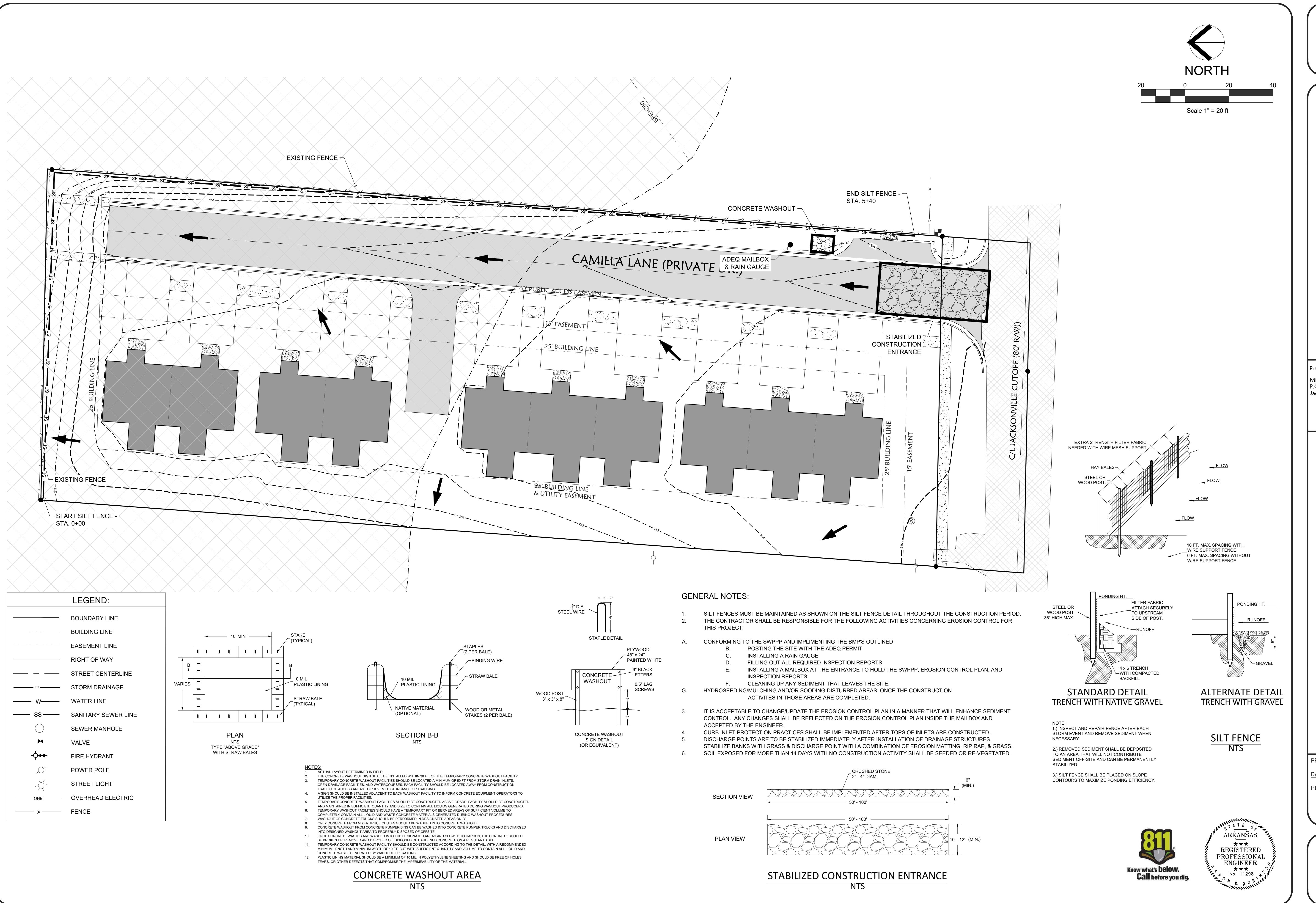
STANDARD PROCTOR AIL CONCRETE SWALE

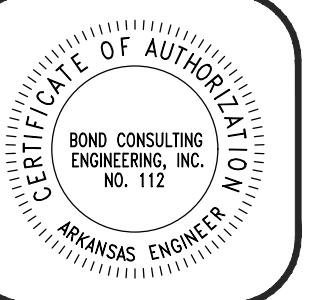


DETAIL - SIDEWALK



CURB & GUTTER





BOND CONSULTING ENGINEERS, INC.

2601 I. P. White Drive
Jacksonville, Arkansas 72076
Phone: (501) 982-1538 Fax: (501) 982-1530 **E-mail: arobbinson@bondce.com**

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LANDSCAPE PLAN CAMILLA ACRES SHERWOOD, PULASKI COUNTY, ARKANSAS

PROJECT: 109
DATE: 10/28/20

C6.0

A compass rose is shown at the top, consisting of a circle with a vertical line through the center. A thick black L-shaped arrow points to the left, indicating the direction of North. Below the compass rose, the word "NORTH" is printed in large, bold, black capital letters. At the bottom of the page is a scale bar. It features a horizontal line with tick marks and numerical labels "0", "20", and "40" at regular intervals. The first two segments of the scale bar are filled with a dark gray color, while the remaining segments are white.

0 0 20

Scale 1" = 20 ft

Scale 1" = 20 ft

Landscape Improvements Schedule			
Section of the City of Sherwood			
General Landscaping (Min 6-Feet Wide)			
Number of Plantings	Right-of-Way Frontage Requirements	Tree Calculation	Shrub Calculation
per 30 LF R/W	150 Linear Feet	5 Trees	
per 50 LF R/W	150 Linear Feet		30 Shrubs
must be at least 2" caliper			
s			
in 1-gallon container size			
Symbol	Scientific Name	Common Name	Quantity
	Lagerstroemia Indica	Crepe Myrtle	14
TREES			14
Symbol	Scientific Name	Common Name	Quantity
	Ilex vomitoria "Nana"	Dwarf Yaupon Holly	36
	Santolina chamaecyparissus	Santolina	23
	Liriope spicata	Liriope	14
SHRUBS			73
or Landscaping			
less than 5% vehicular use area shall be landscaped			
0 SF Planter Area with 1 Tree per Planter			
ar Use Area	10,913 SF	0.05	Min 5%
Landscape Provided			946 SF
ndcovers			Quantity(sf)
ss			946
			0
ck			0

The diagram illustrates a cross-section of a tree planting site. A tree with a visible root ball is shown. A horizontal line labeled 'FINISHED GRADE' marks the top of the planting hole. Above this line, a 3-inch layer of bark mulch or river rock is applied. Below the 'FINISHED GRADE' line, the 'EXPOSED ROOT BALL' is shown. A vertical dimension line indicates a 4-inch depth from the 'FINISHED GRADE' to the bottom of the root ball. Arrows point from the text labels to their respective parts in the diagram.

BACKFILL WITH 1 PART
COMPOST TO 5 PARTS TOPSOIL



DETAIL - SHRUB PLANTING

The image contains two main logos. On the left is the 811 logo, which features the number '811' in large, bold, yellow digits with a black outline. Below the digits is a stylized illustration of a shovel and a pipe. Below the illustration, the slogan 'Know what's below. Call before you dig.' is written in a black, sans-serif font. On the right is the seal for a registered professional engineer in Arkansas. The seal is circular with a hatched border. Inside the border, the words 'STATE OF' are at the top and 'ARKANSAS' is in the center. Below that, the words 'REGISTERED PROFESSIONAL ENGINEER' are written in a large, bold, black font. At the bottom of the seal, the name 'No. 11298' is printed. The bottom half of the seal features the name 'AARON C. ROBINSON' in a curved, bold, black font.

LEGEND:

—————	BOUNDARY LINE
————— - - -	BUILDING LINE
- - - - -	EASEMENT LINE
—————	RIGHT OF WAY
— — — — —	STREET CENTERLINE
————— ST —————	STORM DRAINAGE
———— W —————	WATER LINE
———— SS —————	SANITARY SEWER LINE
○	SEWER MANHOLE
◀	VALVE
○◀	FIRE HYDRANT
○	POWER POLE
○○○	STREET LIGHT
———— OHE —————	OVERHEAD ELECTRIC
———— X —————	FENCE

PLAN

8'-0" [2438MM] SECTION WIDTH CTR TO CTR
(16 BOARDS & 0 SPACES)

PLAN DETAIL (4X SCALE)

STEEL POST

2 X 4 FENCE RAIL
1 X 6 [25 X 152MM] FENCE BOARD

OPTION POST C
1 X 4 [25 X 102MM]
OR 1 X 6 [25 X 152MM]

2' 3 1/4" [692MM]

9 3/4" [248MM]

2' 3 1/4" [692MM]

9 3/4" [248MM]

6" [152MM] FENCE BOARD

2' 6" [762MM]

2' [610MM]

2" [51MM] NOM

FENCE SECTION ELEVATION ***

END VIEW

10" [254MM]

DETAIL - PRESSURE TREATED WOOD PRIVACY FENCE

STEEL EDGING

6" VARIES REF. PLAN

3" MIN. LAYER BARK OR RIVER ROCK

KFILL WITH 1 PART KFILL, 5 PARTS TOPSOIL

PLANT GROUNDCOVER ON STAGGERED TRIANGULAR PATTERN

DETAIL - GROUNDCOVER PLANT

The diagram illustrates a cabinet assembly with the following dimensions and features:

- Top Cabinet:** A square panel with four circular holes at the corners, positioned above the main cabinet.
- Main Cabinet:** A rectangular cabinet with a total width of $30\frac{1}{2}''$ and a height of $62\frac{1}{2}''$. It features a vertical partition on the right side, creating a $16\frac{1}{2}''$ wide section on the right and a $14\frac{1}{2}''$ wide section on the left.
- Left Column:** A vertical stack of eight horizontal shelves. Each shelf is labeled with a circled number:
 - Shelf 1: $\circ [1]$
 - Shelf 2: $\circ [2]$
 - Shelf 3: $\circ [3]$
 - Shelf 4: $\circ [4]$
 - Shelf 5: $\circ [5]$
 - Shelf 6: $\circ [6]$
 - Shelf 7: $\circ [7]$
 - Shelf 8: $\circ [8]$
- Right Column:** A vertical stack of shelves. The top four shelves are labeled:
 - Shelf 9: $\circ [9]$
 - Shelf 10: $\circ [10]$
 - Shelf 11: $\circ [11]$
 - Shelf 12: $\circ [12]$The bottom four shelves are unlabeled and feature a central horizontal slot with four circular holes, with the top two shelves having a height of $34\frac{1}{4}''$ and the bottom two shelves having a height of $16\frac{1}{2}''$.

DETAIL - CLUSTER MAIL BOX

The diagram illustrates a tree support system with the following components and dimensions:

- RUBBER TUBING / HOSE**: A black horizontal tube at the top of the support structure.
- TIE STRAPS**: Straps connecting the tree to the support structure.
- STANDARD DOMESTIC STEEL**: The vertical support posts.
- 'T' POST PAINTED GREEN WITH WHITE REFLECTIVE TOP**: The top of the support posts.
- 3" MIN. LAYER BARK MULCH OR RIVER ROCK**: A layer of mulch or rock on the ground.
- 4" HIGH SAUCER**: A shallow depression in the ground.
- FINISHED GRADE**: The level of the ground surface.
- EXPOSED ROOT BALL (CROWN OF ROOT BALL SHOULD BE 1" HIGHER THAN EXISTING GRADE)**: The root ball of the tree, with the crown being 1" higher than the finished grade.
- BURLAP / WIRE BASKETS (REMOVE TOP 1/3 FROM ROOTBALL)**: Baskets used to support the root ball.
- BACKFILL WITH 1 PART COMPOST TO 5 PARTS TOPSOIL**: The material used to fill the base of the tree.
- 12" MIN.**: The minimum distance from the base of the tree to the finished grade.
- 4'0"**: The height of the support structure.
- 2'0"**: The height of the saucer.
- 6"**: The height of the exposed root ball above the finished grade.

DETAIL - TREE PLANTING

STAFF REPORT

Application Type: Site Plan Review
Application: SPL.202511 Camilla Acres



Planning Commission Meeting: 1/13/2026

REQUEST

Applicant request site plan review of a ± 1.54 acre lot containing 2 duplex structures and 2 triplex structures, yielding a total of ten (10) units. The applicant submitted a final plat application concurrently for approval.

OWNER/AGENT INFORMATION

Owner: Sullivan Investment Property LLC, PO Box 687, Jacksonville, AR 72078
Applicant/Authorized Agent: Bond Consulting Engineers

TECHNICAL SITE INFORMATION

Location/Parcel ID: 6008 Jacksonville Cutoff Rd, Sherwood, AR 72076
Parcel ID: 22S0220002502
Property Area: ± 1.54 acre (per plat)
Current Zoning: Multi-Family Residential (R-2)
Land Use Plan: Conservation Area (N-CON)
Surrounding Zoning/Land Use: North - Single Family Residential (R-1)/Conservation Area (N-CON)
South - Single Family Residential (R-1)/Institutional Campus (S-INS)
East - Single Family Residential (R-1)/Conservation Area (N-CON)
West - Single Family Residential (R-1)/Small Scale Multi-Family (S-MFR)

EXISTING CONDITIONS

The ± 1.54 -acre site is located north of Jacksonville Cutoff Road. The subject property is currently vacant, with the exception of an existing accessory structure remaining from previous use. It's estimated that half of the parcel lies within the 100-year floodplain (Zone AE). The property is zoned R-2.

PUBLIC NOTIFICATION

n/a

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Conservation Area (N-CON). Conservation Areas include environmentally sensitive areas such as floodplains/floodways, wetlands, or areas with slopes exceeding 20% intended for natural preservation and resource conservation. Development is not intended for these areas. Uses that have little or no impact on the surrounding areas or can be adequately mitigated may be allowed.

MASTER STREET PLAN

The subject property is located on and has ~149.93' frontage along Jacksonville Cutoff Road.

Jacksonville Cutoff Rd: Minor Arterial (80' ROW)

Proposed Access Easement: 40' ~~40' available paved width~~

STAFF ANALYSIS

1. Scaled site plan: *Site plan review of 1 lot containing 5 duplex structures – 10 dwelling units; correct Property Data notes through, which still reflect lot configuration. Applicant revised the site plan of Lot 1F containing 2 duplex structures and 2 triplex structures.*
 - a. Graphic scale: **Provided**
 - b. Proposed lot lines. **Provided**
 - c. Existing and proposed vehicular and pedestrian circulation systems including streets, alleys, walkways, service areas and loading areas, the location and arrangement of off-street parking areas and all points of vehicular ingress and egress. **Partially addressed**
 - i. *Sidewalk detail provided on Sheet C4.0 indicating a minimum 5' sidewalk proposed [for Jacksonville Cutoff Rd] as part of half street improvements.*
 - ii. *Revise plan to indicate required sidewalk improvement and green space on the west side of Camilla Lane in accordance with STD-30. Given limited parking configuration options driven by the site, staff would recommend the applicant revise the drawing to capture sidewalk at back of curb to reduce likelihood of vehicle stacking in driveways blocking continuous sidewalk access. Staff supports modification to remove required greenspace to ensure sidewalk improvement functions as intended.*
 - iii. *Modify plan and street profile to capture continuation of curb and gutter extending to the western property boundary. Not addressed*
 - d. Proposed perimeter treatment of the property, indicating screening materials to be used including fences, walls, and plant materials together with a description of uses, setbacks and their proposed relationship to surrounding areas.
 - i. *Provide elevations of existing and/or proposed perimeter treatment, including proposed fence materials. Not addressed; see #1.e [below].*
 - e. Schematic landscape plan showing proposed treatment of the areas designated as either buffers or private common open space. **Landscape plan is insufficient.**
 - i. *Where R-2 zoning abuts R-1 zoned property, dense evergreen shrubbery shall be installed. For vehicular use areas, the shrubbery shall attain a minimum height of six (6) feet within three (3) years. For non-vehicular use areas, the shrubbery shall attain a minimum height of eight (8) feet and a minimum thickness of five (5) feet within five (5) years. In addition, a six-foot (6') opaque wall or fence shall be installed along the west, north, and east property boundaries in conjunction with the required dense evergreen shrubbery.*

STAFF REPORT

Application Type: Site Plan Review
Application: SPL.202511 Camilla Acres



Planning Commission Meeting: 1/13/2026

- ii. *Provide existing and proposed fence material and capture elevation for Planning Commission review/approval on the site plan.*
- iii. *Provide legend indicating species of the proposed plants and proposed number of each in accordance with Zoning Code § 14.16.06. Partially addressed; update legend to capture the required increase in the proposed number of planting materials along the west, north and east property boundaries.*
- f. Location and dimension of all existing and proposed utilities, drainage, and street easements within the site.
 - i. *Indicate existing and proposed utilities on the subject property and provide use. Capture linework in legend.*
- g. Proposed location of structures and structural dimensions, dimension distances between buildings, and distances from structures to property lines.
 - i. *Per AFPC, a minimum separation distance of 10' is required between duplexes. If this separation cannot be achieved, staff recommends including a note in the General Notes section indicating that a code-compliant rated firewall will be constructed upon development. Addressed*
 - ii. *Dimension distance of proposed structures to property lines. Addressed*

2. A topographical cross section map of the site ~~and the location of the one hundred (100) year flood elevation the parcel of land. Provided; ~0.68 acres of the subject property is located within the 100-year floodplain, Zone AE.~~

- a. *Additional permitting and development considerations will apply to the northernmost 0.68 acres due to the presence of underlying 100-year floodplain, Zone AE. Site development will be subject to floodplain regulations, including but not limited to elevation requirements, floodplain development permits, and potential limitations on buildable area.*
 - i. *All proposed structures must achieve a FFE of 2' above the established BFE. Applicant must utilize the FEMA FIS to determine the BFE for each structure proposed in the 100-year floodplain. Indicate on the site plan the determined BFE in conjunction with the FFEs.*

3. Quantitative data including the following:

- a. Proposed building coverage of principal and accessory buildings. *Provided; applicant provided calculations stating coverage on the subject property at built condition to be limited at 16.25%.*
- b. *Parcel size. Addressed with 1-lot configuration*
- c. Proposed floor area of principal and accessory buildings. *Addressed; 1 duplex/1746 sf under roof and 1 triplex/3,050 sf under roof.*
- d. Proposed number of parking spaces. *Provided; applicant indicates 40 total proposed parking spaces. 20 parking spaces conflict with required sidewalk improvement when vehicles stack in driveways [see 1.c.ii.].*
 - i. *Staff request signage to indicate "No On-Street Parking" on Camilla Lane be captured on the site plan. Revise site plan and indicate proposed signage location and elevation.*
- e. A registered land survey showing the exact property or boundary lines, including a legal description of the total site for development, including a statement of present ownership.

4. Engineering (anticipate additional comments from Engineering)

- a. *Engineering approval of construction drawings required prior to the commencement of any site work.*
- b. *See FPL.202511 Camilla Acres for additional engineering comments related to drainage, capacity of utilities, etc.*
- c. *Provide updated drainage analysis complete with pre and post development conditions.*

5. Operational questions/concerns:

- a. General:
 - i. *Add General Notes for items not labeled on plan.*

STAFF REPORT

Application Type: Site Plan Review
Application: SPL.202511 Camilla Acres



Planning Commission Meeting: 1/13/2026

- ii. ***Add/correct legend for all linework and symbols.***
- iii. ***Correct Property Data note 3.***
- b. Fire (anticipate additional comments from Fire Marshal):
 - i. Indicate distance (in linear feet along the street) of nearest fire hydrant(s). Ensure existing line capacity is sized appropriately to handle placement of a new hydrant (*see **FPL.202511.Camilla Acres**). **Fire Marshal indicates the proposed new fire hydrant nearest the 20' fire apparatus turnaround must be moved south in closer proximity to Jacksonville Cutoff.**
- c. Exterior:
 - i. ***Provide architectural elevations inducing proposed exterior building materials. Provided with prior iteration of the site plan application/iterations. Are there anticipated modifications to the exterior building materials than previously presented with the application?***
 - ii. ***Indicate site lighting on plan, location and fixture type.***
- d. As a private drive, how is trash collection proposed? ***Not addressed; Ordinance 1835 requires trash containers be placed behind the curbline of a public street; collection from a private drive is not permitted. Staff recommends the applicant obtain a Will Serve letter from the Sherwood Public Works Department confirming individual roll container collection from the Jacksonville Cutoff ROW. If this determination is not feasible, staff recommends the site be reconfigured to include a centralized dumpster location that meets minimum enclosure and screening standards. Provide proposed materials for dumpster enclosure and elevations of enclosure if this option is utilized and/or required.***
- e. ***Provide General Note on the site plan stating the following: "Based on the proposed development pattern and density and in accordance with the zoning code in effect at the time of approval, this site cannot be further subdivided into additional lots." Said note should concurrently be applied to FPL.202601.Camilla Acres.***
- f. ***Staff recommends the "cluster mailbox" align with the 20' fire apparatus access turnaround to reduce possible conflict with vehicle maneuvering, e.g., traffic conflicts with vehicles delivering/picking up mail and other traffic entering or leaving the subject property, etc.***

STAFF RECOMMENDATION

The applicant did not submit the requested revisions to the staff report by the established deadline. Staff recommends that the Planning Commission table this item to the February 10th, 2026, agenda.



2601 T.P. White Drive
Jacksonville, AR 72076

TEL 501.982.1538
FAX 501.982.1530

www.bondce.com

December 15, 2025

Mrs. Shelby Notias
City of Sherwood, Permits & Planning
2199 E Kiehl Avenue
Sherwood, AR 72120

RE: Final Plat– Camilla Acres , Sherwood, AR

Dear Mrs. Notias:

Attached are 5 copies of the revised final plat for the referenced project. This project is located at 6008 Jacksonville Cutoff Road and reflects the comments made at the October 2025 planning commission meeting.

This is an existing 1.54 acre tract of land that used to have a residential structure and associated driveways. We are requesting a 1-lot subdivision with a private drive.

The northern 0.68 acres is located within the regulatory floodplain. The established minimum base flood elevation (BFE) is 250.0.

On behalf of Sullivan Investment Property LLC, we are requesting to be placed on the January 2026 planning commission agenda for site plan approval.

Please feel free to call me if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Aaron Robinson'.

Aaron Robinson PE PS

cc: BCE # 10919
Mike Sullivan

WATER • WASTEWATER • LAND PLANNERS • STORM WATER • SURVEYORS

2601 T.P. White Dr. • Jacksonville, AR 72076
Business: 501-982-1538 • Fax: 501-982-1530
Website: www.bondce.com

STAFF REPORT**Application Type:** Final Plat**Application:** FPL.202511.Camilla Acres**Planning Commission Meeting:** 1/13/2026**REQUEST**

The applicant is requesting final plat approval of a ± 1.54 acre site located on the north side of Jacksonville Cutoff Road. The applicant submitted a concurrent application for site plan review to allow duplex and triplex development in R-2.

OWNER/AGENT INFORMATION

Owner: Sullivan Investment Property LLC, PO Box 687, Jacksonville, AR 72078
Applicant/Authorized Agent: Bond Consulting Engineers

TECHNICAL SITE INFORMATION

Location/Parcel ID: 6008 Jacksonville Cutoff Rd, Sherwood, AR 72076
Parcel ID: 22S0220002502
Property Area: ± 1.54 acre (per plat)
Current Zoning: Multi-Family Residential (R-2)
Land Use Plan: Conservation Area (N-CON)
Surrounding Zoning/Land Use: North - Single Family Residential (R-1)/Conservation Area (N-CON)
South – Single Family Residential (R-1)/Institutional Campus (S-INS)
East - Single Family Residential (R-1)/Conservation Area (N-CON)
West - Single Family Residential (R-1)/Small Scale Multi-Family (S-MFR)

EXISTING CONDITIONS

The ± 1.54 -acre site is located north of Jacksonville Cutoff Road. The subject property is currently vacant, with the exception of an existing accessory structure remaining from previous use. It's estimated that half of the parcel lies within the 100-year floodplain (Zone AE). The property is zoned R-2.



PUBLIC NOTIFICATION

n/a

LAND USE PLAN

The Vision Sherwood 2040 Land Use Plan details this location as Conservation Area (N-CON). Conservation Areas include environmentally sensitive areas such as floodplains/floodways, wetlands, or areas with slopes exceeding 20% intended for natural preservation and resource conservation. Development is not intended for these areas. Uses that have little or no impact on the surrounding areas or can be adequately mitigated, may be allowed.

MASTER STREET PLAN

The subject property is located on and has ~149.93' frontage along Jacksonville Cutoff Road.

Jacksonville Cutoff Rd: Minor Arterial (80' ROW)

Proposed Access Easement: 40' wide; 27' paved width

STAFF ANALYSIS

1. Proposal to create a one lot subdivision with a 27' wide private drive accommodated within a 40' wide Access Easement along the east property boundary. Lot frontage is defined as Jacksonville Cutoff which will be treated as the 25' front yard setback.
 - i. *Front building line setback subject to modification on the basis of additional ROW dedication requirement. See #7 below. Addressed*
 - ii. *The proposed Access Easement should be designated as a "Public Access Easement" since the intent is to reserve the drive for use by the general public, not just specific individuals or property owner(s). Addressed; 40' Public Access Easement indicated on plat.*
2. Provide draft Bill of Assurance, including provision for maintenance of proposed shared private improvements (driveway, infrastructure, etc.) *Provided; staff comments remain unaddressed.*
 - a. *Incorporate a mechanism for funding the maintenance of said private drive as a "Public Access Easement", including provisions to ensure maintenance costs are addressed in perpetuity by the owner.*
 - b. *As a "Private Access Easement", the owner responsible for maintenance must be named in the BoA, this captures the possibility of a POA or HOA (if applicable) being named the responsible owner of maintenance.*
 - c. *Applicant must correct enumeration captured in the BoA.*
3. Indicate distance (in linear feet along the street) to the nearest fire hydrant; new fire hydrant placement may be required.

STAFF REPORT

Application Type: Final Plat

Application: FPL.202511.Camilla Acres



Planning Commission Meeting: 1/13/2026

- i. *Fire hydrant placement required every 400' per Fire Marshal, with average spacing not to exceed 250'. Fire Marshal indicates the proposed new fire hydrant nearest the 20' fire apparatus turnaround must be moved south in closer proximity to Jacksonville Cutoff. Revise accordingly.*
4. Define intent of the 20' shared ingress/egress easement and label accordingly. *Is this to accommodate fire turnaround requirements? Addressed; Site plan indicates 20' shared ingress/egress easement to allow for the minimum AFPC fire apparatus access turnaround on site.*
5. Applicant proposes development of a private road. *Private roads must be developed in accordance with City of Sherwood Public Works Infrastructure Standard Details for applicable street classification. Capture street profile with plat submission: Provided*
6. Engineering
 - a. Will utility provider (Runyan Acres Sewer Improvement District) and ADH allow shared force main with individual pump stations at this location? *Pending; applicant has submitted plans to area provider and AHD. Provide Will Serve letters.*
 - i. *Have Will Serve Letters been received approved on the 10/28/2025 Water Plan submitted as part of the revised site plan application?*
 - b. *Provide calculations showing existing 2" water main will provide for domestic use of the proposed duplexes and that adequate fire protection can be achieved. Upgrade to the water main may be required. Pending; applicant has submitted plans to CAW for approval and approval of hydraulics. Pending determination from CAW. Provide Will Serve letter.*
 - i. *Have Will Serve Letters been received passed on the 10/28/2025 Sanitary Sewer Plan & Profile submitted as part of the revised site plan application?*
 - c. *Provide full set of construction plans for engineering review.*
 - d. *Sheet C.4 SPL.202601.Camilla Acres indicates private road appears to meet minimum standards (27' wide, curb and gutter, etc.).*
 - e. *Provide drainage analysis complete with pre and post development calculations. Provided; City of Sherwood contract engineer determined the increase in 10-year and 25-year storm runoff amounts are 4.9 cfs and 5.6 cfs. While these aren't negligible, the site does discharge directly into the floodplain of Bayou Meto. City contract engineer concludes that detention is not appropriate or needs to be required based on drainage analysis provided.*
 - f. *Additional permitting and development considerations will apply to the northern most 0.68 acres due to the presence of underlying 100-year floodplain, Zone AE. Site development is subject to floodplain regulations, including but not limited to elevation requirements, floodplain development permits, and potential limitations on buildable area to mitigate adverse impact. Acknowledged by applicant.*
7. Jacksonville Cutoff Road is a Minor Arterial with a required 80' minimum ROW. Per code, 40' ROW dedication and half street improvement are required. *Based on the dimension indicated on the final plat, additional ROW dedication is required to achieve 40' from street C/L, as required by the city's MSP. Indicate additional dedication of ROW. Addressed; plat indicates 40.06' ROW dedication from street C/L as required by the city's MSP.*
8. General:
 - a. *Error of closure NTE 1':5,000'. Add to General Notes; Not addressed*
 - b. *Revise Title Block adding Lot 1F before Camilla Acres*
 - c. *Indicate and label all easements by intended use.*
 - d. *Provide General Note on the Final Plat stating the following: "Based on the proposed development pattern and density and in accordance with the zoning code in effect at the time of approval, this site cannot be*

STAFF REPORT

Application Type: Final Plat

Application: FPL.202511.Camilla Acres



Planning Commission Meeting: 1/13/2026

“further subdivided into additional lots.” Said note should concurrently be applied to SPL.202601.Camilla Acres.

Waivers requested: ~~Applicant request a waiver of additional ROW dedication on the basis of existing conditions of the property and those surrounding~~. Planning Commission denied the applicant's request to waive the additional ROW dedication at the November 10th, 2025 meeting. Applicant has revised the plat to reflect a ROW dedication of 40.06' from the street C/L.

STAFF RECOMMENDATION

The applicant did not submit the requested revisions to the staff report by the established deadline. Staff recommends that the Planning Commission table this item to the February 10th, 2026, agenda.